



BOARD OF GOVERNORS
Approved *In Camera* Minutes of the Meeting held on
Tuesday, June 22, 2021, 3:00 p.m.
Videoconference

MEMBERS PRESENT:

Robert (Bob) Hanf (Chair), Paul Beesley, Scott Brison, Level Chan, Cassandra Dorrington, Cheryl Fraser, Ahsan Habib, Kevin Hewitt, Kristan Hines, Joyce Hoeven, Laurie Jennings, Brian Johnston, Jay MacIsaac, Merle MacIsaac, Carolan McLarney, Aparna Mohan, Sherry Porter, Robert Richardson, Deep Saini (President), Devarsh Sood, Madeleine Stinson, Michele Williams

NON-MEMBERS PRESENT:

Alice Aiken (Vice President Research & Innovation), Peter Fardy (Vice President Advancement), Frank Harvey (Provost and Vice President Academic - Acting), Matt Hebb (Vice President Government and Global Relations), Gitta Kulczycki (VP Finance & Administration), Susan Brousseau (University Secretary), Cheryl MacDonald (Board Governance Assistant)

GUESTS:

Peter Coutts (Assistant Vice-President, Facilities Management) for Item 9.2; Tim Maloney (Executive Director Athletics and Recreation) for Item 9.2; Susan Robertson (Assistant Vice-President Financial Services) for Item 9.2; Nathan Rogers (Assistant Director Capital Planning) for Item 9.2

REGRETS:

Angeline Gillis

During the *in camera* session, the following motions were approved:

Item 9.1 – Minutes of the In Camera Sessions of April 20, 2021 and May 27, 2021

THAT the minutes of the in camera sessions of April 20, 2021 and May 27, 2021 be approved as presented. [C. Fraser/S. Porter]

Item 9.2 – Arena Project (Board 2 Approval)

THAT the Board of Governors, on the recommendation of the Capital Projects and Facilities Committee, approve the advancement of the University Arena project to the Implementation Phase with an expenditure not to exceed \$21.6M for construction of the base arena building with the supplemental elements (Board 2 Approval). [R. Richardson/S. Porter]



BOARD OF GOVERNORS

Agenda Item: ARENA PROJECT - BOARD 2 APPROVAL

ACTION REQUIRED:

This item is presented for decision.

BACKGROUND:

The purpose of this project is to build a new multi-use arena facility on the Studley Campus that addresses the ice needs of student recreational programming (intramurals and clubs), varsity athletics, and community use that includes faculty and staff. It will feature an NHL-sized ice sheet with an alternate floor surface, a state-of-the-art physiotherapy clinic, and event spaces with catering capacity, and will be an inclusive space that serves the diverse needs of the Dalhousie and greater Halifax communities. Dalhousie is the only major university in Atlantic Canada without an arena facility.

The Board of Governors, on the recommendation of the Capital Projects & Facilities Committee, approved the advancement of the University Arena project to the Design Phase (Board 1 Approval) on November 27, 2018.

In 2018, Dalhousie staff undertook a comprehensive Physical Plan for the Department of Athletics & Recreation. The Plan identifies a new arena facility located on the Studley Campus as the highest priority physical requirement for Athletics & Recreation. A schematic arena plan has been prepared with the assistance of industry partners, and the Studley site location connects the new arena facility to the LeMarchant Place atrium, as originally intended prior to the demolition of the Memorial Arena in 2012.

The attached memorandum to the Capital Projects and Facilities Committee (CPFC) sets out the background, proposal, resources implications and funding plan, as well as issues and risks associated with the Implementation Phase of the project. The CPFC reviewed this proposal at its meeting on June 4, 2021 and agreed to recommend approval to the Board of Governors.

Enclosed:

- Memorandum to the Capital Projects and Facilities Committee (June 2021)
- Arena Funding Plan
- Overall Arena site plan and detailed site plan
- Schematic Arena Floor Plans and Building Section

MOTION:

THAT the Board of Governors, on the recommendation of the Capital Projects and Facilities Committee, approve the advancement of the University Arena project to the Implementation Phase with an expenditure not to exceed \$21.6M for construction of the base arena building with the supplemental elements (Board 2 Approval).



CAPITAL PROJECTS & FACILITIES COMMITTEE
University Arena – Board 2 Approval
June 2021

Project Sponsor – Vice President, Finance and Administration

Project Contacts – AVP, Facilities Management / Executive Director, Athletics & Recreation

Project Purpose - To build a new multi-use arena facility on the Studley Campus that addresses the ice needs of student recreational programming (intramurals and clubs), varsity athletics, and community use that includes faculty and staff. Featuring an NHL-sized ice sheet with an alternate floor surface, a state-of-the-art physiotherapy clinic, event spaces with catering capacity, the facility will be an inclusive space that serves the diverse needs of the Dalhousie and greater Halifax communities.

Previous Approvals

The Dalhousie Board of Governors, on the recommendation of the Capital Projects & Facilities Committee, approved the advancement of the University Arena project to the Design Phase (Board 1 Approval) on November 27, 2018.

Background

- Dalhousie demolished the former Memorial Arena in 2012 and currently leases ice time at the Halifax Forum for intramural, club, and varsity use. The lease fees at the Forum are approximately \$220k per year plus logistics costs. Additional lease-hold renovations have occurred at the Forum to support Athletics & Recreation totaling \$200k. Dalhousie is the only major university in Atlantic Canada without an arena facility.
- Continuing to rent time at the Halifax Forum is not attractive to Dalhousie Athletics & Recreation. Dalhousie Athletics indicated that since demolishing the Memorial Arena, there has been more than a 55% reduction in the number of students participating in ice recreation programming (pre-COVID pandemic) due to:
 - lack of available ice time;
 - poor availability of primetime hours; and,
 - physical distance (4 km) from campus.
- More specifically prior to COVID-19, the number of recreation ice hours decreased from 21 to 10 per week; the number of ice-related student teams decreased from 57 to 27; the total number of students participating in ice-related activities dropped from 807 to 405; and there were substantial decreases in attendance by greater than 100 spectators at Varsity games. Student enrollment has increased at Dalhousie since 2012; however, ice-related recreation has been steadily decreasing since demolition of the Memorial Arena.
- Compounding the Halifax Forum's physical distance from the campus is the pending HRM Council-directed renovation of the Forum complex that would further displace students in intramural teams, club teams, and varsity teams during the renovation downtime anticipated to begin in 2023-24 according to HRM's 2021-2022 Capital Plan.
- The general student population appears supportive for an on-campus arena through engagements related to the Fitness Centre in 2013 and the Student Union Building renovation

in 2014. Intramural participants, club sport student-athletes, varsity athletes, and a variety of community groups have also indicated support for an arena facility because it would:

- Increase and/or enhance recreation program offerings and participation;
 - Minimize travel, improving the safety of students;
 - Enhance student experience and campus culture; and,
 - Elevate Dalhousie to a standard most other universities offer.
- In anticipation of what was to come next following the Fitness Centre opening in May 2018, Dalhousie staff undertook a comprehensive Physical Plan for the department of Athletics & Recreation. Following the momentum of the new Fitness Centre, Fieldhouse Floor Renewal, and Sexton Campus Recreation renovations, the Plan identifies a new arena facility located on the Studley Campus as the highest priority physical requirement for Athletics & Recreation. The Plan contemplates a preliminary framework for future phases addressing the needs of Athletics & Recreation following the arena facility.

Proposal

- A schematic arena plan has been prepared with the assistance of industry partners, such as owner's engineer IB Storey— official rink engineering consultant of the NHL. The Studley site location connects the new arena facility to the LeMarchant Place atrium – as originally intended prior to demolishing the Memorial Arena in 2012. The main entrance to the new arena facility fronts on South Street and uses the existing LeMarchant Place atrium for a secondary access.
- The arena facility will consist of an NHL-regulation sized ice sheet with 6 community change rooms and 2 dedicated varsity change rooms – one women's and one men's. The facility will include over 900 spectator seats capable of supplying sufficient seating for varsity hockey or other events such as conferences broadening its function as an inclusive facility. The space plan also includes an event room, lobby with reception desk, storage, and an opportunity for the Dalhousie Physiotherapy clinic to relocate from Dalplex to the new arena facility.
- The Dalhousie Physiotherapy clinic has enjoyed initial success in Dalplex despite space limitations (975 sq ft). Including the physiotherapy clinic in the new arena facility would provide a larger space (2,250 sq ft) that would substantially enhance patient experience. It would also provide opportunities for increased experiential learning for students and more research, while being in proximity to the Dalhousie Health clinic. Located in the centre of campus, the clinic would also be a convenient location for students, staff, faculty and the community to access care. The decanted space from Dalplex can be re-purposed as teaching lab space (i.e. facilities for Kinesiology).
- The total project cost for the base arena project is estimated at \$19.5M for a 57,722 sq ft facility representing an estimated project cost of ~\$338 per square foot. Supplemental elements beyond the base arena project brings to total project cost to \$21.6M. Supplemental project elements include: Alumni Crescent re-alignment, a new surface parking lot, sustainability elements, removable floor covering for events keeping the ice in place, and arena seating. This project is planning to follow industry and municipal standards for arena construction and will execute the project through Design-Build project delivery.

Resource Implications and Funding Plan

Project Capital Budget

The total project cost for the base arena project is \$19.5M with supplemental elements required to complete the project as listed below bringing the grand total to \$21.6M.

Base Project Budget – Arena	
University Arena	\$19.5M
Supplemental Elements	
Alumn Crescent re-alignment	\$0.6M
New surface parking lot	\$0.3M
Sustainability elements with payback	\$0.7M
Removable floor covering over ice	\$0.3M
Arena seating	\$0.2M
Total	\$21.6M

Capital Funding

When the Memorial Arena was demolished in 2012, Dalhousie earmarked \$5M for an arena project that would have otherwise been required for structural upgrades and facilities renewal. The funding plan is indicated in the table below.

Base Project Funding– Arena	
Earmarked Dal Funds from 2012	\$5.0M
Athletics & Recreation carry forward contr.	\$1.0M
Additional Dal Funds	\$3.0M
Debt Funded*	\$12.6M
Total	\$21.6M

*The amount of debt funding required will be lessened as we expect the Dalhousie Arena project to attract donors at a variety of levels that in aggregate will make a significant contribution to the project. Securing a lead donor, in the +/- \$5 million range is seen as key. The President, VP Advancement and Executive Director, Athletics and Recreation have been involved in a series of discussions with a prospective lead donor who has clearly indicated a desire to make such a gift, but has not yet formally committed. A gift of this magnitude will warrant the naming of the facility or a major component thereof. Beyond that, there are a variety of other funding and recognition opportunities that include but are not limited to the clinic, event room, lobby area, dressing rooms and seats which could attract \$1-2M. Furthermore, the arena will be included in Dalhousie's new campaign with a goal of raising an additional \$1M.

Operating Expenses & Funding (i.e. Debt servicing, staffing, maintenance, materials, and utilities)

Since demolishing the Memorial Arena in 2012, Dalhousie has protected the annual operating costs of associated with that facility. These funds are available to support operating costs of this new arena facility. The following table details the operating costs and revenues:

Expenses (\$000s)	
Operating Costs (FM & Athletics)	665
Utility Costs (est.)	165
Annual Total Expense	830
Revenue Steams (\$000s)	
Protected Arena Operations Fund	600
Fitness Centre Fee Contribution	250
Ice rentals	475
Non-ice rentals (events)	75
Sponsorship / advertising	150
Clinic Revenue	40
Annual Total Revenue	1,590
Annual Funding available to support Debt	760

See attached Arena Funding Plan for complete details.

Issues

- **Parking** – The proposed arena site at Studley requires relocating 78 parking stalls. The existing parking stalls are a short-term pay-and-display parking lot. In order to replace 78 parking stalls, it is proposed to move the parking spaces on the location presently occupied by the tennis court as well as additions to a re-aligned Alumni Crescent. The net change is +20 new spaces (78 to 98). The new parking spaces will also be pay-and-display and will be funded on a fee recovery basis. The daily rates will service the capital cost required to construct the new parking spaces.
- **Wickwire Field** – The proposed arena facility location necessitates that Alumni Crescent is re-aligned. This also provides an opportunity to provide a new pedestrian sidewalk, a vehicle drop-off layby, and more parking spaces. The implication of this re-alignment is that Wickwire Field is shortened by approximately 105 ft from 590 ft to 485 ft. Dalhousie Athletics & Recreation have reviewed the programming result relative to intramural, club, and varsity use and determined that a regulation football field is 150 yards (450 ft) and would include a minimum of a 5-yard runoff on each end, bringing the length to 160 yards (480 ft). A regulation soccer field will fit within the dimensions of the football field. Furthermore, at 485 ft in length, the new Wickwire Field can still accommodate four simultaneous 7 vs 7 soccer matches at the recommended field dimensions. The renewal of Wickwire Field underway in 2021 has included moving the field lines to accommodate this change in Alumni Crescent.

Risks

- **Neighbour / Community Concerns** – neighbourhood noise disruption could impact reputational status of Dalhousie. This was very evident during the excavation and rock breaking for the LeMarchant Place building. In order to alleviate this risk, neighbourhood information sessions will be carried out and a communication plan developed. Parking will also be displaced; however, plans indicate that a net increase in parking spaces will be provided through the construction phase for this project.
- **Campus Master Plan** – no guidance can be sought relative to the arena facility from the Campus Master Plan (2010) since the plan did not contemplate demolishing Memorial Arena.
- **Fundraising / Capital Campaign**– raising the capital cost necessary to complete the arena facility is a known risk particularly around anticipated project delivery timelines. The debt funding is sustainable should fundraising not be successful although donors are expected to support the capital cost as noted.
- **Tennis Court Removal** – Replacing the tennis court with parking may be viewed as advantaging some with a new arena facility while disadvantaging others by removing the tennis court. This is a communication and reputation risk that should be clearly communicated by Athletics & Recreation and will be considered in the long-term plan for future athletic facilities.
- **HRM Centre Plan – Package B** – certain elements on the arena project are relying on HRM to complete its Centre Plan Package B approval process. This includes the existing 50 ft setback from South Street. HRM has removed this requirement in the updated planning documents but requires HRM Regional Council approval before the change is ratified. This approval is expected in Fall 2021 but delay in this approval poses a risk to our schedule.

Project Timeline

Board 1 Approval	November 2018
Board 2 Approval	June 2021
Implementation Phase and Occupancy	September 2023 (estimated)

Proposed Motion

THAT the Capital Projects & Facilities Committee recommend to the Board of Governors that the University Arena project advance to the Implementation Phase with an expenditure not to exceed \$21.6M for construction of the base arena building with the supplemental elements (Board 2 Approval).

Enclosures

- Arena Funding Plan
- Overall Arena site plan and detailed site plan
- Schematic Arena Floor Plans and Building Section

Funding Plan Arena (000's of dollars)		Expected Case	Worst Case
Existing Arena fund (2012-13 approved surplus allocation)		5,000	5,000
Athletics (carryforward allocation and held replacement reserve surplus)		1,000	1,000
Additional University Funds:			
U Avenue redevelopment fund redeployed (2012-13 approved surplus allocation)	2,000		
HSA surplus (confirmed by HR)	1,000	3,000	3,000
Donations:			
Lead Donor	5,000		
Sports Med Naming rights	500	5,500	0
Debt supported by streams identified below ⁽¹⁾			
Expected Case			
\$7.1 Million in debt, 3.21% quoted for June 2023, repaid in no more than 15 years		3,300	
Worst Case			
\$12.6 Million in debt, 3.45% quoted for June 2023, repaid in no more than 25 years			12,600
		21,600	21,600
Debt Funding			
Donations are not committed at this time therefore funding plan based a worst case scenario of \$12.6 million in debt which can be repaid in a maximum of 25 years. Funds raised will be used in the first instance to reduce the funding borrowed and term to			
Notes on \$21.6M Budget:			
Budget includes: major equip such as zamboni, ice edger, skate sharpening equip does not include office or lobby furniture. (Furniture and Fixtures Estimated when the time comes)			
Includes finished space for clinic but not clinic equipment or furnishings which will move from current space			
188K of costs to date on the capital project account since 2018-19 have been confirmed to be in the total.			
Includes all associated projects (eg moving of Alumni Cres, and relocation of parking to tennis court area.)			
Possibility of 200K in sustainability revenue (grants) not counted in revenue above.			
This not a Lead project but will have some sustainability components			
Annual Costs/Funding Streams			
Expenses			
Annual Operational Costs (FM and Athletics) ⁽²⁾		665	
Utility Costs (est from FM)		365	
		830	
Annual Revenue Streams			
Arena Operations Fund ⁽⁴⁾		600	
Fitness Centre Fee Contribution ⁽³⁾		250	
Ice Rentals (Community groups, estimate) ⁽²⁾		475	
Non-Ice Rentals (events rentals)		75	
Sponsorship and advertising		150	
Clinic Revenue		40	
		1,590	
Annual Funding available to support debt ⁽¹⁾		760	
(1) Funding of 760K available to support annual debt payments after consideration of operating costs.			
(2) Revenue estimates developed by Athletics. Does not include other revenue streams such as summer camps which will go to replace annual transfer to Athletics and Caplex from old arena operations budget. See ⁽⁴⁾			
(3) Athletic Director and VP F&A have reviewed the motion approving the Fitness Centre fee and they are comfortable 250K of it can be used to support annual costs of a new Arena			
(4) these are the funds currently held in the budget that supported the operating costs of the old arena (including utilities.) This is the amount transferred annually to athletics to replace lost revenue when the old arena was demolished. These transfers will no longer be required as Athletics will be able to generate revenues through camps etc when the new facility is in			
(5) Operating Costs Arena (Oct 2018 est and confirmed May 21)			
FM:			
Arena Operations	430,365		
Trades	79,800		
Custodial, Environmental Services	93,584		
Security	23,725		
Athletics Salary (cost to manage facility)	36,800		
	664,274		

DALHOUSIE UNIVERSITY ARENA



A NEW HOME FOR TIGERS OF ALL STRIPES

- FEATURING AN NHL-SIZED ICE SHEET WITH ALTERNATE FLOOR SURFACE, SPACE FOR A STATE-OF-THE-ART PHYSIOTHERAPY CLINIC, EVENT SPACES WITH CATERING CAPACITY, A NEW ARENA ON CAMPUS WILL SERVE THE DIVERSE NEEDS OF THE DALHOUSIE AND SURROUNDING COMMUNITIES.
- THE CENTRE WILL BE A VIBRANT VENUE FOR SPORT AND RECREATION ACTIVITIES FOR DALHOUSIE VARSITY, CLUB AND INTRAMURAL TEAMS AS WELL AS LOCAL SPORTS ASSOCIATIONS. IT WILL ADD A NEW DIMENSION TO THE STUDENT EXPERIENCE AND BE PART OF THE HEALTH AND WELLNESS HUB ON CAMPUS.
- BUILT-IN FLEXIBILITY WILL ENABLE THE ARENA TO BE TRANSFORMED EASILY TO A CONFERENCE CENTRE, BALLROOM, CONVOCATION HALL OR OTHER EVENT VENUES. HOSTING EVENTS AND ACTIVITIES ON CAMPUS WILL BECOME AN OPTION WE HAVEN'T HAD BEFORE.



OFFERING SOMETHING FOR EVERYONE

An arena back on campus will deliver a myriad of benefits to our diverse group of stakeholders, including:

Increased student participation

Enhanced student experience

Support our health and wellness objectives

Improved athletics and recreational programming

Further engage our community

Become a centre for events



LINK TO DALHOUSIE'S STRATEGIC DIRECTION

A multipurpose arena aligns with our core values and strategic direction:

Core Values

Impactful Community Engagement

Future Ready Leaders

Wellness, Accessibility, Respect & Support

Strategic Pillars

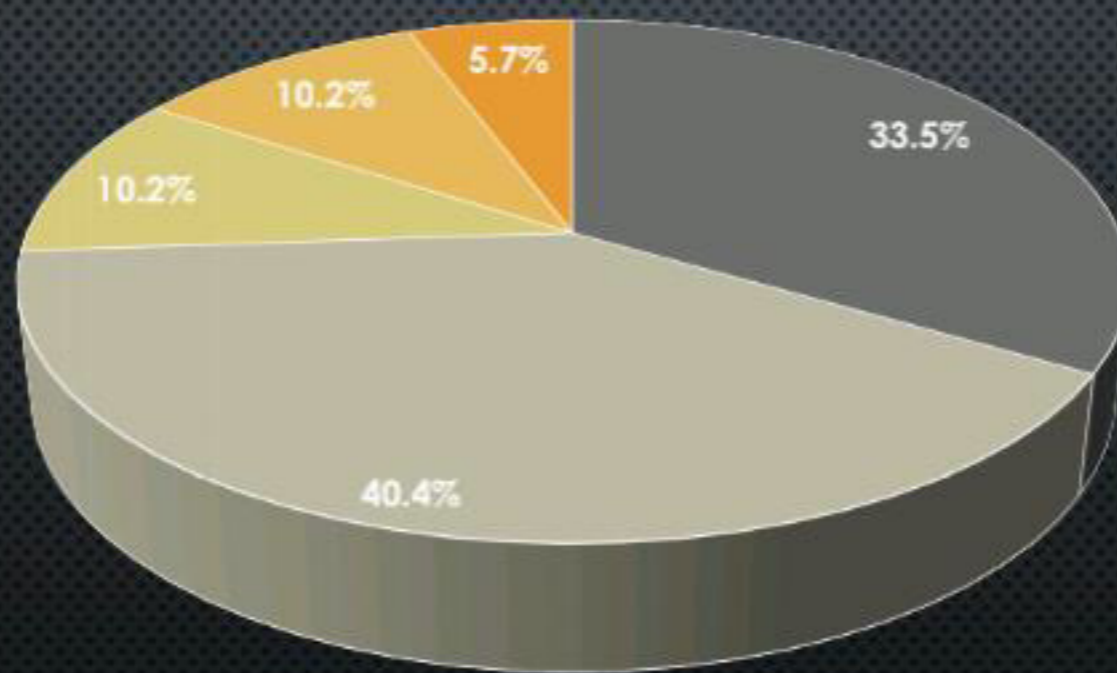
Our students

Our community

Our infrastructure



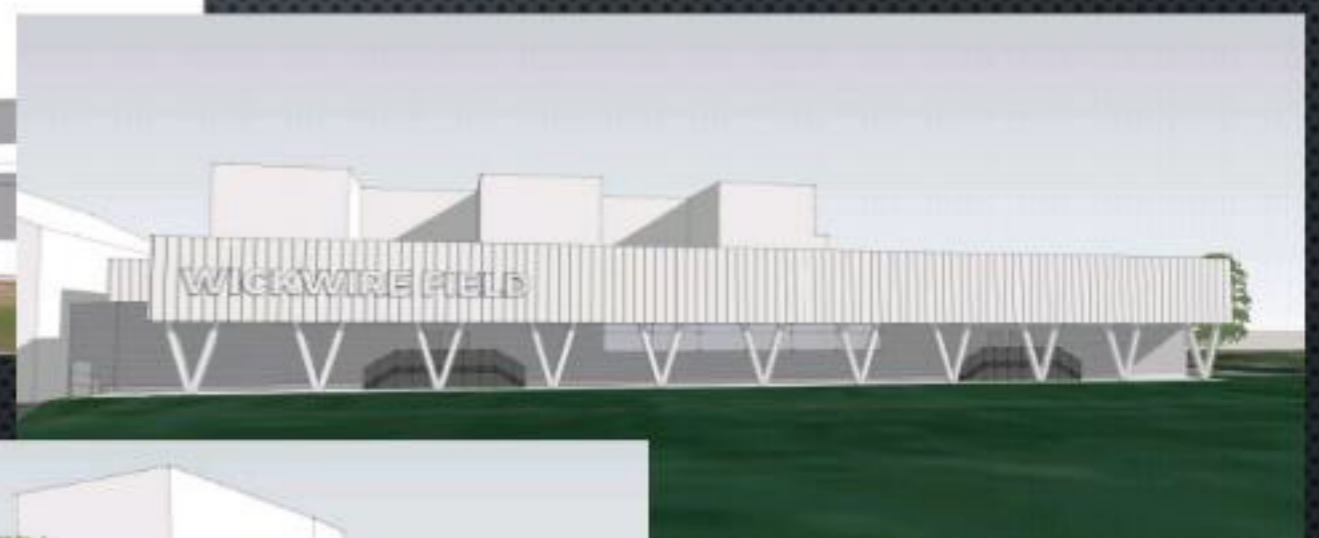
PROJECTED STAKEHOLDER USAGE (SEPT-APR)



■ Community - Rental
 ■ Students
 ■ Staff/Faculty
 ■ Other
 ■ Maintenance



DESIGN CONCEPTS



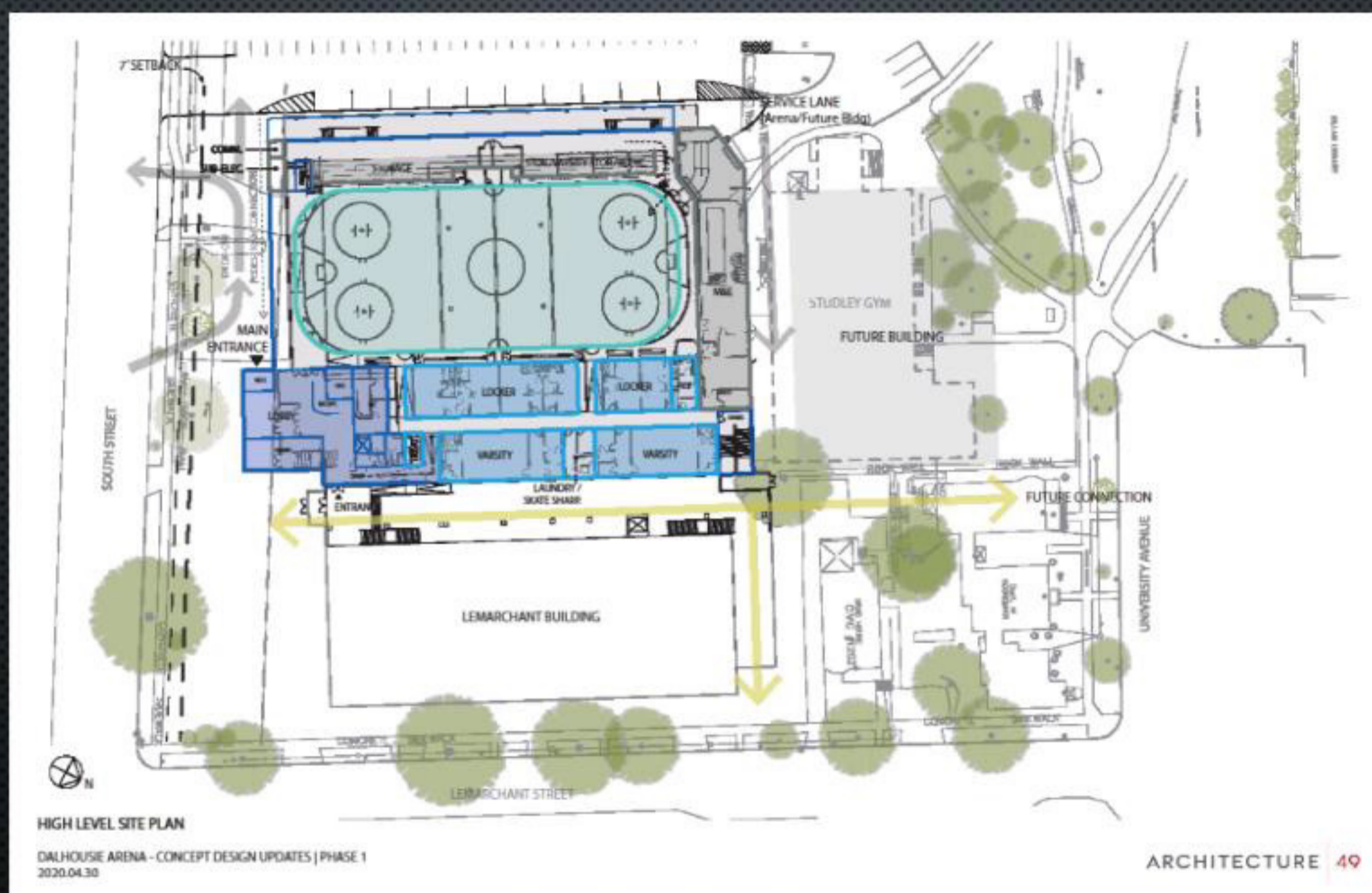
BUILDING PLAN

LEVEL 1

- MAIN ENTRANCE FROM SOUTH STREET
- LOBBY AND RECEPTION AREA
- SECONDARY ENTRANCE FROM LEMARCHANT PLACE
- LOCKER ROOMS, OFFICES AND STORAGE FOR MEN'S AND WOMEN'S VARSITY HOCKEY TEAMS
- SIX (6) ADDITIONAL LOCKER ROOMS
- NHL SIZE ICE SURFACE AND FLOOR SURFACE FOR NON-ICE ACTIVITIES

LEVEL 2

- DALHOUSIE PHYSIOTHERAPY CLINIC
- FOOD SERVICES
- WARM LOBBY WITH VIEW OF ARENA
- EVENT ROOM WITH ARENA VIEW
- STORAGE
- ACCESS TO SEATING (936 SEATS)



ESTIMATED CAPITAL BUDGET

- ESTIMATED CAPITAL BUDGET IS **\$19.5M** FOR THE BASE ARENA FACILITY.
- SUPPLEMENTAL BUDGET COSTS INCLUDE:
 - ALUMNI CRESCENT RE-ALIGNMENT – \$0.6M
 - NEW SURFACE PARKING LOT – \$0.3M
 - SUSTAINABILITY ELEMENTS WITH PAYBACK – \$0.7M
 - REMOVABLE FLOOR COVERING OVER ICE – \$0.3M
 - ARENA SEATING \$0.2M
- TOTAL INCLUDING SUPPLEMENTAL ELEMENTS IS **\$21.6M**



PRELIMINARY CAPITAL FUNDING SOURCES

Potential Investment Streams	Expected Case	Worst Case
Existing Arena Fund	\$5,000,000	\$5,000,000
Athletics & Recreation Contribution	\$1,000,000	\$1,000,000
Additional University Funds	\$3,000,000	\$3,000,000
Lead Donor (TBC)	\$5,000,000	\$0
Clinic Naming Rights (TBC)	\$500,000	\$0
Assumption of Debt	\$7,100,000	\$12,600,000
TOTAL	\$21,600,000	\$21,600,000

Expected Case: \$7.1 Million in debt, 3.21% quoted for June 2023, repaid in no more than 11.5 years

Worst Case: \$12.6 Million in debt, 3.45% quoted for June 2023, repaid in no more than 25 years



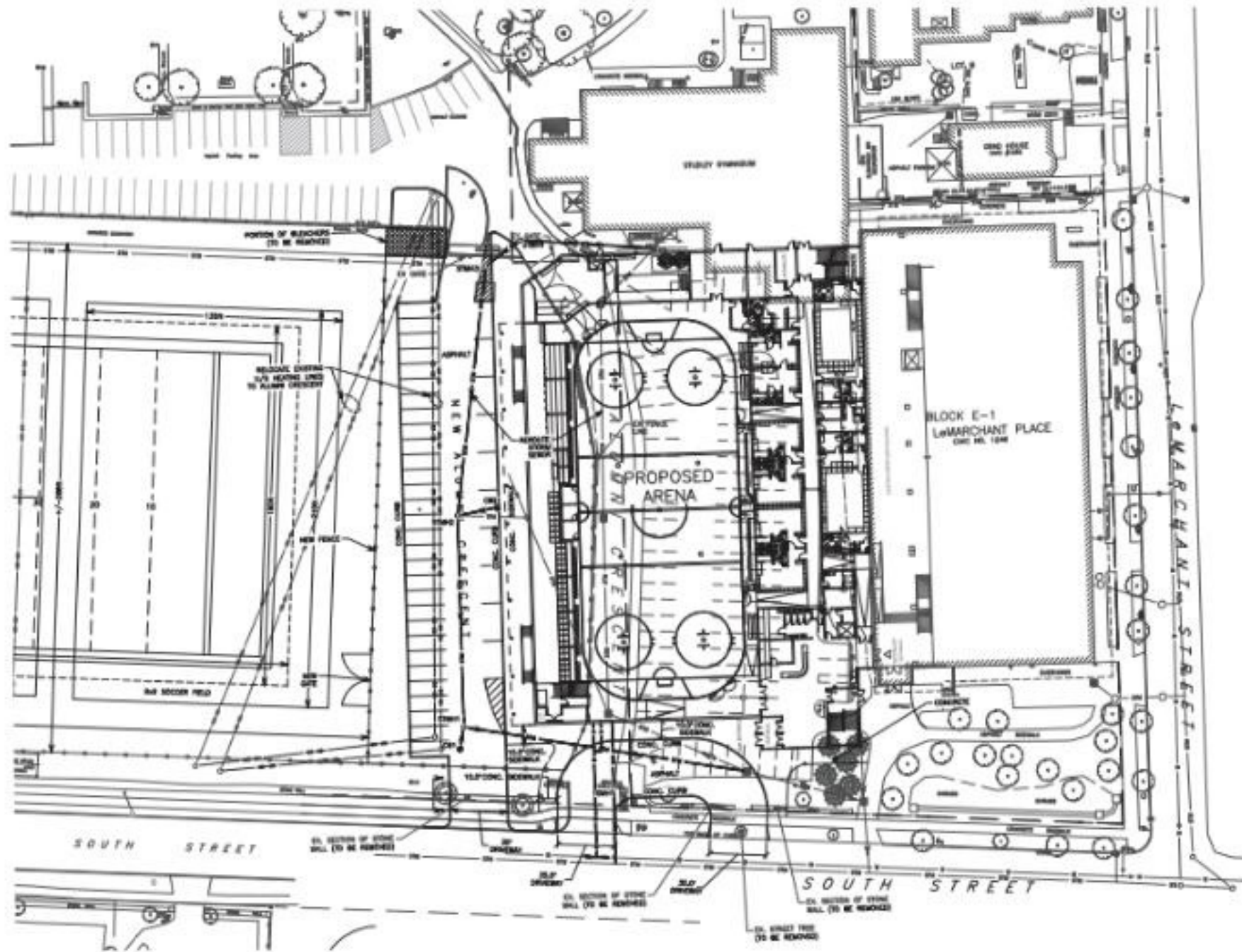
ANNUAL OPERATIONS

ITEM	Amount
Revenues	
Arena Operations Fund	\$600,000
Fitness Centre Fee Contribution	\$250,000
Ice Rentals	\$475,000
Non-Ice Rentals	\$75,000
Clinic	\$40,000
Sponsorship, Advertising & Gate	\$150,000
<i>Total Revenue</i>	<i>\$1,590,000</i>
Expenses	
Annual Operations	\$665,000
Annual Utilities	\$165,000
<i>Total Expense</i>	<i>\$830,000</i>
Available for Debt Funding	\$760,000



PROPOSED MOTION

THAT THE CAPITAL PROJECTS & FACILITIES COMMITTEE RECOMMEND TO THE BOARD OF GOVERNORS THAT THE UNIVERSITY ARENA PROJECT ADVANCE TO THE IMPLEMENTATION PHASE WITH AN EXPENDITURE NOT TO EXCEED \$21.6M FOR CONSTRUCTION OF THE BASE ARENA BUILDING WITH THE SUPPLEMENTAL ELEMENTS (BOARD 2 APPROVAL).



LEGEND		
EXISTING		PROPOSED
1/2" DWG	CON. EXIST. WALL/STAIRWELL WALL	1/2" DWG
○	PIPE PENETR.	○
○	EXISTING HOLLOW BLOCK	○
○	SPACE SPRAWLER CONNECTION	○
○	EXIST. WALL	○
○	NEW WALL	○
○	NEW WALL/STAIRWELL WALL	○
○	EXIST. FLOOR	○
○	NEW FLOOR	○
○	MECHANICAL	○
○	ELECTRICAL	○
○	FIRE PROTECTION	○
○	NEW WALL/STAIRWELL WALL	○
○	EXIST. WALL	○
○	NEW WALL	○
○	NEW WALL/STAIRWELL WALL	○
○	EXIST. FLOOR	○
○	NEW FLOOR	○
○	MECHANICAL	○
○	ELECTRICAL	○
○	FIRE PROTECTION	○
○	NEW WALL/STAIRWELL WALL	○
○	EXIST. WALL	○
○	NEW WALL	○
○	NEW WALL/STAIRWELL WALL	○
○	EXIST. FLOOR	○
○	NEW FLOOR	○
○	MECHANICAL	○
○	ELECTRICAL	○
○	FIRE PROTECTION	○

NOTES:

- THIS PLAN IS FOR PLANNING PURPOSES ONLY - NOT FOR CONSTRUCTION.
- PLAN IS SUBJECT TO SITE.
- RESPONSIBILITY FOR ANY DISCREPANCY BETWEEN THIS PLAN AND ANY OTHER INFORMATION SHOULD BE VERIFIED ON SITE BEFORE CONSTRUCTION.

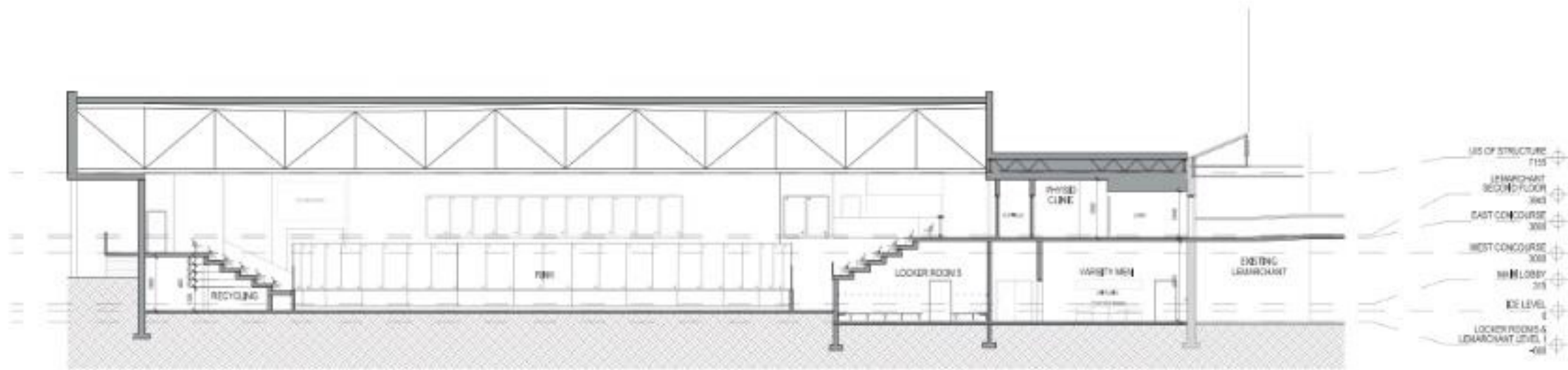
No.	Date	Revised	Description	By/For
1	01/05/11	REVISED	ISSUED FOR REVIEW	
2	01/05/11	ISSUED	FOR REVIEW	
3	01/05/11	REVISED	FOR REVIEW	



DAUROUSE UNIVERSITY - ARENA

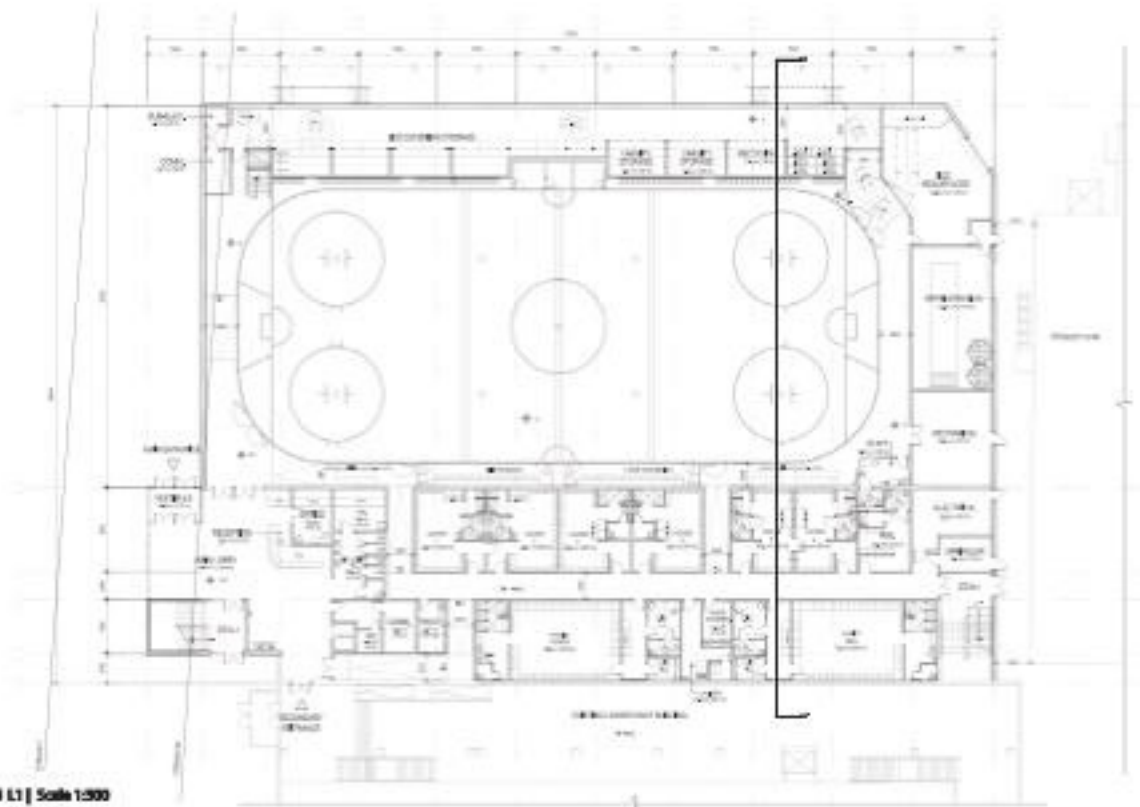
SERVING SCHEMATIC
STUDLEY CAMPUS
HALIFAX, NOVA SCOTIA

Date: 01/05/11	Drawn: S. ASHWIN	Project No.: 14-3588-0
Date: 01/05/11	Engineer: A. LANEY	Plan No.: 14-3588-0
Author: S. ASHWIN	Checked: A. LANEY	Scale: 1/8"=1'-0"
Client: SDMM	Sheet: 01	File No.: 14-3588-0



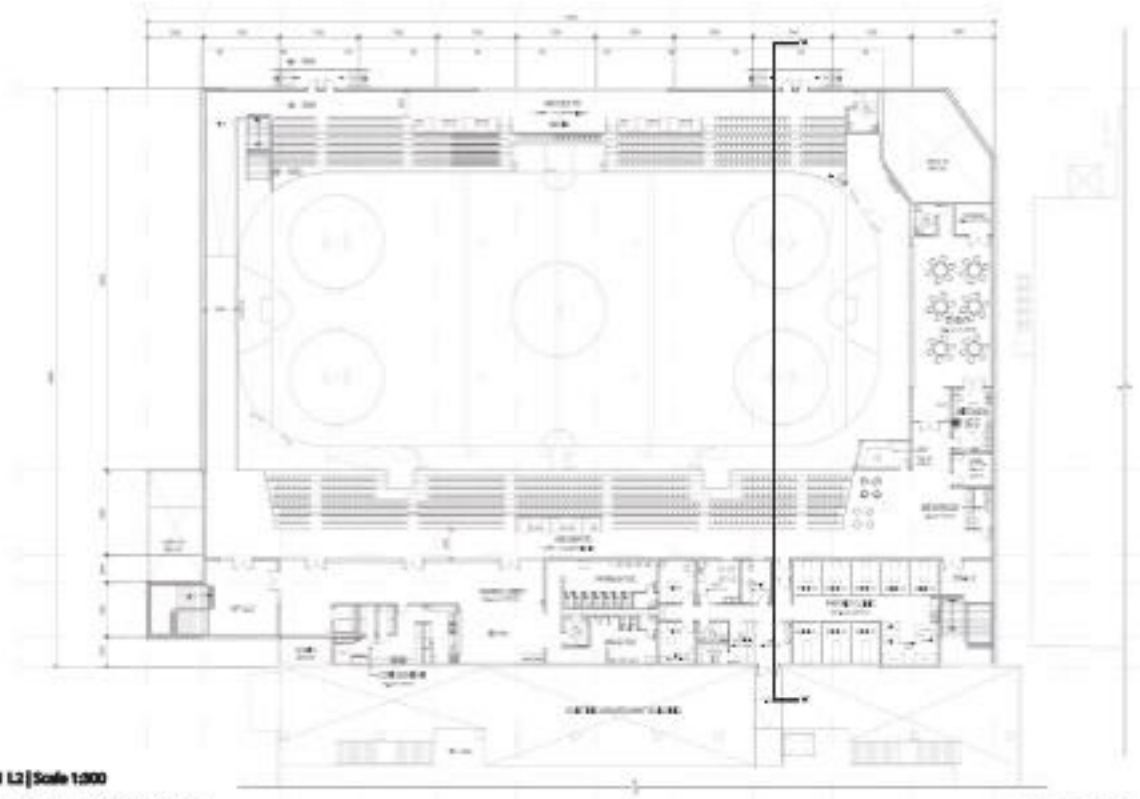
SECTION 'A' | Scale 1:200

DALHOUSIE ARENA - CONCEPT DESIGN UPDATES - RS
2020.08.11



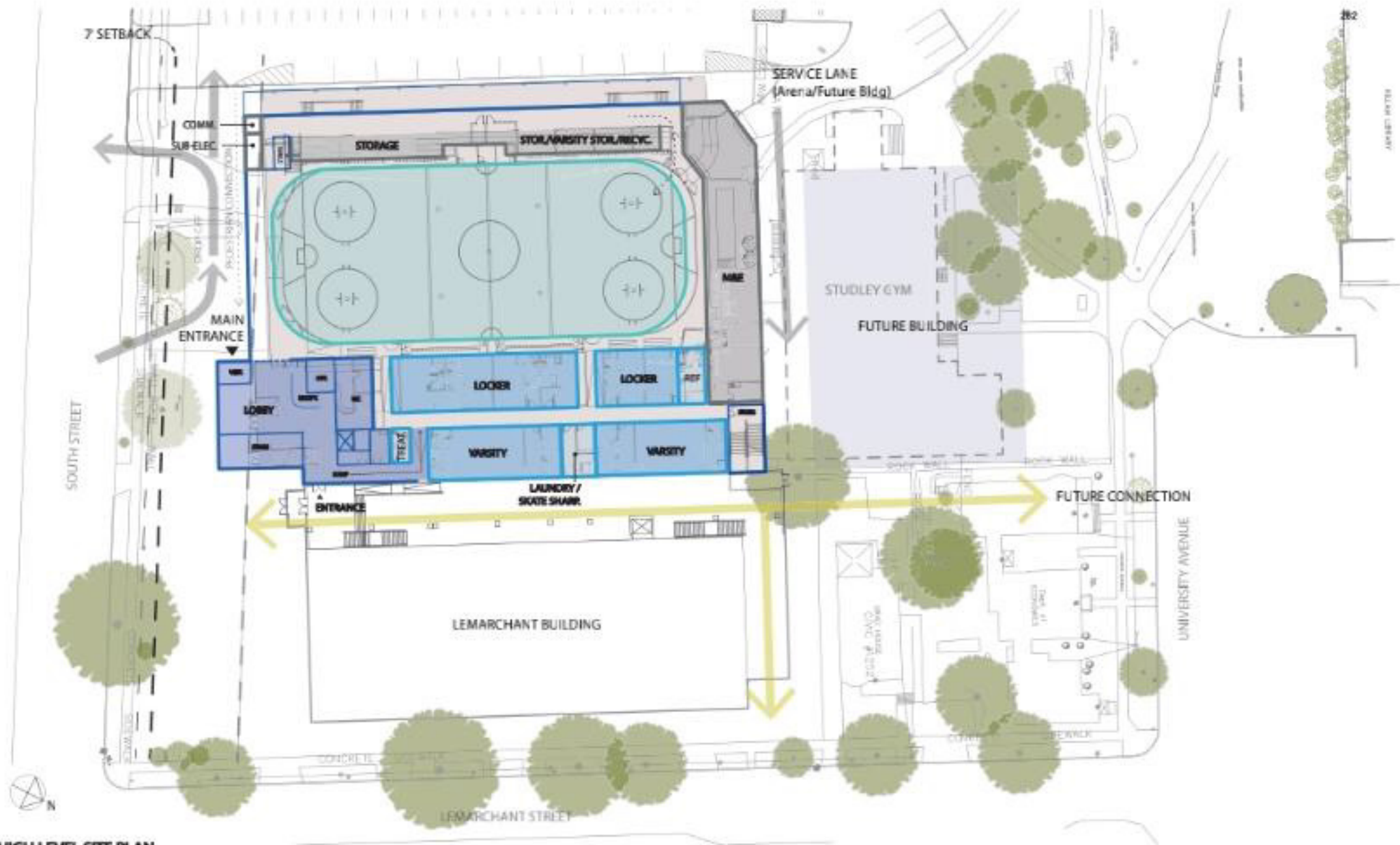
FLOOR PLAN L1 | Scale 1:500

DETAILS DE AREA 1 - CONCEPT DESIGN UPDATES - R3
2020.03.11



FLOOR PLAN L2 | Scale 1:500

DETAILS DE AREA 1 - CONCEPT DESIGN UPDATES - R3
2020.03.11



HIGH LEVEL SITE PLAN

DALHOUSIE ARENA - CONCEPT DESIGN UPDATES | PHASE 1
2020.04.30