

48

Form 24

Purpose: to request or direct a revision of title and Certificate of Legal Effect

Registration district:	Halifax County
Submitter's user number:	3517
Submitter's name:	David G. Lewis

In the matter of Parcel Identification Number (PID)

PID: 41036096	PID: 41188731
PID: 00003954	

For Office Use

HALIFAX COUNTY LAND REGISTRATION OFFICE	
I certify that this document was registered or recorded as shown here.	
Registrar	
89466073	LR <input checked="" type="checkbox"/> ROD <input type="checkbox"/>
Document #	
DEC 05 2007	1100
MM DD YYYY	Time

The following additional forms are being submitted simultaneously with this form and relate to the attached document:

- Form 24(s)
- Form 8A(s)
- This Form 24 creates or is part of a subdivision or consolidation

TAKE NOTICE THAT a revision of the registration of the above-noted parcel is hereby requested or directed as set out below.

AND FURTHER TAKE NOTICE THAT the attached document is signed by attorney for a person under a power of attorney, and the power of attorney is:

- recorded in the attorney roll
- recorded in the parcel register
- incorporated in the document
- no power of attorney applies to this document

The following registered interests are changed in the parcel registration

Instrument type	n/a
Interest holder and type to be removed (if applicable)	n/a
Interest holder and type to be added (if applicable) <i>Note: include qualifier (e.g. estate of, executor, trustee, personal representative) (if applicable)</i>	n/a
Mailing address of interest holder to be added (if applicable)	n/a
Manner of tenure (if applicable)	n/a

#342087.1

April 3, 2007

Description of mixture of tenants in common and joint tenancy (if applicable)	n/a
Access type to be removed (if applicable)	n/a
Access type to be added (if applicable)	n/a
Percentage or share of interest held (for use with tenant in common interests)	n/a
Non-resident (to qualified solicitor's information and belief) (Yes/No?)	n/a
Reference to related instrument in parcel register (if applicable)	n/a
Reason for removal of interest (For use only when interest is being removed by operation of law) Instrument code: 443	n/a

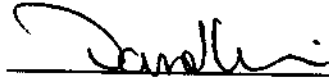
The following burdens are to be added and/or removed in the parcels registration:

Instrument type	Agreement Re Use of Land
Interest holder and type to be removed (if applicable)	n/a
Interest holder and type to be added (if applicable) Note: include qualifier (e.g. estate of, executor, trustee, personal representative)(if applicable)	Halifax Regional Municipality – Party to Agreement (Burden)
Mailing address of interest holder to be added (if applicable)	PO Box 1749, Halifax, Nova Scotia, B3J 3A5
Reference to related instrument in names-based roll/parcel register (if applicable)	n/a
Reason for removal of interest (for use only when interest is being removed by operation of law) Instrument code: 443	n/a

Certificate of Legal Effect:

I certify that it is appropriate to make the above-noted changes to the parcel register for the indicated PID.

Certified at Halifax, in the County of Halifax, Province of Nova Scotia, on November 23rd, 2007.



Signature of authorized lawyer

Name David G. Lewis

Address 1800-1801 Hollis Street, Halifax,
Nova Scotia, B3J 3N4

Phone 902-428-5301

Email: dlewis@burchells.ca

Fax: 902-420-9326

- This document also affects non-land registration parcels. The original will be registered under the *Registry Act* and a certified true copy for recording under the *Land Registration Act* is attached.

THIS AGREEMENT made this 28 day of November, 2007,
BETWEEN:

UNITED GULF DEVELOPMENTS LIMITED,

a body corporate, in the Halifax Regional Municipality, Province
of Nova Scotia (hereinafter called the "Developer")

OF THE FIRST PART

- and -

HALIFAX REGIONAL MUNICIPALITY,

a municipal body corporate,
(hereinafter called the "Municipality")

OF THE SECOND PART

WHEREAS the developer wishes to obtain permission to construct a mixed use development including hotel, commercial and multiple-unit residential uses on Lot 1B (PID# 41036096), Lot Y (PID# 00003954) and Lot X, formerly the northwest portion of lot 1A (PID# 41188731) bounded by Granville, Sackville, Hollis and Salter Streets, Halifax pursuant to Implementation Policy 3.5.1 of the Halifax Municipal Planning Strategy and Section 84 of the Halifax Peninsula Land Use By-law;

AND WHEREAS the Developer warrants that it is the registered owner of the lands described in Schedule A hereto (hereinafter called the "Lands")

AND WHEREAS a condition of the granting of approval of Council is that the Developer enter into an agreement with the Halifax Regional Municipality;

AND WHEREAS the Regional Council of Halifax Regional Municipality, at its meeting on the 21st day of March, 2006, approved the said agreement to allow for a mixed use development on the lands subject to the registered owner of the lands described herein entering into this agreement, and at the same meeting, approved the discharge of that portion of the existing development resolution as it applies to Lot X, formerly the northwest portion of lot 1A (PID# 41188731) which is approved for a surface parking lot, filed in the Registry of Deeds in Book No. 6785, Pages 177-192, said discharge to take effect upon the registration of this agreement;

NOW THEREFORE THIS AGREEMENT WITNESSETH THAT in consideration of the granting by the Municipality of the development agreement requested by the Developer, the Developer agrees as follows:

PART 1: GENERAL REQUIREMENTS AND ADMINISTRATION

1.1 Applicability of Agreement

The Developer agrees that the Lands shall be developed and used only in accordance with and subject to the terms and conditions of this Agreement.

1.2 Applicability of Land Use By-law and Subdivision By-law

Except as otherwise provided for herein, the development and use of the Lands shall comply with the requirements of the Halifax Peninsula Land Use By-law and the Subdivision By-law, as may be amended from time to time.

1.3 Applicability of Other Bylaws, Statutes and Regulations

Further to Section 1.2, nothing in this Agreement shall exempt or be taken to exempt the Developer, lot owner or any other person from complying with the requirements of any by-law of the Municipality applicable to the Lands (other than the Land Use By-law to the extent varied by this Agreement), or any statute or regulation of the Province of Nova Scotia, and the Developer or lot owner agrees to observe and comply with all such laws, by-laws and regulations in connection with the development and use of the Lands.

1.4 Conflict

Where the provisions of this Agreement conflict with those of any by-law of the Municipality applicable to the Lands (other than the Land Use By-law to the extent varied by this Agreement) or any provincial or federal statute or regulation, the higher or more stringent requirements shall prevail.

1.5 Costs, Expenses, Liabilities and Obligations

The Developer shall be responsible for all costs, expenses, liabilities and obligations imposed under or incurred in order to satisfy the terms of this Agreement and all federal, provincial and municipal regulations, by-laws or codes applicable to any lands owned by the Developer.

1.6 Provisions Severable

The provisions of this Agreement are severable from one another and the invalidity or unenforceability of one provision shall not affect the validity or enforceability of any other provision.

PART 2: USE OF LANDS AND DEVELOPMENT PROVISIONS

2.1 Schedules / Use of Lands

The Developer shall develop and use the lands (described in Schedule "A" of this agreement) for a mixed use, commercial / residential development which, in the opinion of the Development Officer, is substantially in conformance with Plans No. 001 - 031 filed in the Halifax Regional Municipality Planning and Development Services as Case #00709 and are attached as the following Schedules to this Agreement:

Schedule "A"	Legal Description of the Lands	
Schedule "B"	Site Plan / Sidewalk Details	Plan #00709-001
Schedule "C"	Parking Plan, Level P4	Plan #00709-002
Schedule "D"	Parking Plan, Level P3	Plan #00709-003
Schedule "E"	Parking Plan, Level P2	Plan #00709-004
Schedule "F"	Parking Plan, Level P1	Plan #00709-005
Schedule "G"	Ground Floor Plan, Hollis Street (Level L1)	Plan #00709-006
Schedule "H"	Ground Floor Plan, Granville St. (Level L2)	Plan #00709-007
Schedule "I"	Floor Plan, Podium 1 (Level 3)	Plan #00709-008
Schedule "J"	Floor Plan, Podium 2 (Level 4)	Plan #00709-009
Schedule "K"	Floor Plan, Level 5	Plan #00709-010
Schedule "L"	Typical Floor Plan (Level 14)	Plan #00709-011
Schedule "M"	Typical Floor Plan (Level 26)	Plan #00709-012
Schedule "N"	Floor Plan, Penthouse (Level 27)	Plan #00709-013
Schedule "O"	Roof Plan	Plan #00709-014
Schedule "P"	Building Sections	Plan #00709-015
Schedule "Q"	Building Sections	Plan #00709-016
Schedule "R"	Building Sections	Plan #00709-017
Schedule "S"	Building Elevations	Plan #00709-018
Schedule "T"	Building Elevations	Plan #00709-019
Schedule "U"	Partial Podium Elevation	Plan #00709-020
Schedule "V"	Partial Podium Elevation	Plan #00709-021
Schedule "W"	Partial Podium Elevation	Plan #00709-022
Schedule "X"	Partial Podium Elevation	Plan #00709-023
Schedule "Y"	Partial Podium Elevation	Plan #00709-024
Schedule "Z"	Partial Podium Elevation	Plan #00709-025
Schedule "A-1"	Partial Podium Elevation	Plan #00709-026
Schedule "B-1"	Partial Podium Elevation	Plan #00709-027
Schedule "C-1"	Partial Podium Elevation	Plan #00709-028
Schedule "D-1"	Partial Podium Elevation	Plan #00709-029
Schedule "E-1"	Partial Podium Elevation	Plan #00709-030
Schedule "F-1"	Partial Podium Elevation	Plan #00709-031

2.2 Architectural Requirements

(a) Materials and Colour

The exterior architectural materials shall substantially conform to the attached schedules. The exterior materials shall consist primarily of glass and shall also include stone and copper and other metals as illustrated on Schedules S through Z and A-1 through F-1. The glass shall be substantially made up of clear vision and bronze tinted vision glass as illustrated on the Schedules.

2.3 Landscaping

- (a) A detailed landscape plan prepared by a Landscape Architect shall be submitted with the application for Building and Development Permits. The landscape plan shall provide details of ground level/ sidewalk landscaping shown on Schedule "B" and the rooftop garden area shown on Schedule "K". The plan shall specify all model numbers, quantities and manufacturers of site furnishings (benches, bicycle racks, etc.) as well as construction details of landscape features (planters, hard surfaces, planting details, etc.). The developers shall ensure that all plant material is to conform to the Canadian Nursery Trades Association Metric Guide Specifications and Standards and sodded areas are to conform to the Canadian Nursery Sod Growers' Specifications. Materials and finishes shall be of high quality.
- (b) Sidewalk construction, planting and site furnishings at ground/ sidewalk level shall be the responsibility of the Developer and shall comply with the Capital District standards for the Barrington Street district as developed through the Urban Design project. The Development Officer shall consult with the Capital District Streetscape Coordinator and the Manager of Right-of-Way Services on the detailed design prior to the issuance of a Development Permit. The Developer agrees to provide street trees, benches, bicycle racks and garbage receptacles of a type consistent with the aforementioned municipal standards subject to detailed design and review.
- (c) The rooftop garden area shown on Schedule "K" may include a combination of sodded areas, ground cover, walkways, shrubs, deciduous and coniferous trees, site furnishings and landscaping features. The Developer agrees that this space shall be used by building occupants and their guests only and will be accessible for occasional private functions on a limited, seasonal basis. Planting on rooftops and podiums above structures shall be carefully selected for their ability to survive in rooftop environments. Approximately 50 percent of the plant material shall be evergreen and/or material with winter colour and form. Deciduous trees shall have a minimum size of 45 mm caliper (1.8 inch diameter). Coniferous trees shall be a minimum of 1.5 m (5 ft.) high and upright shrubs shall have a minimum height of 60 cm. (2 ft.). Rooftop trees will be located in planting beds or containers.

- (d) It is the responsibility of the developer to ensure that all structures are capable of supporting loads for all rooftop landscaping as well as the anticipated mature weight of the plant material on any rooftop and podium.
- (e) The Developer shall maintain and keep in good repair all portions of the development on the Lands, including but not limited to, the interior and exterior of the building, fencing, walkways, recreational amenities, parking areas and driveways, and the maintenance of all landscaping including the replacement of damaged or dead plant stock, trimming and litter control, garbage removal and snow removal/salting of walkways and driveways.
- (f) No occupancy permit shall be issued for any building constructed on the lands until such time as the landscaping associated with that phase of development has been completed in accordance with Schedules B and K. The Developer shall provide written certification from a Landscape Architect to the Development Officer indicating that all landscaping has been completed in accordance with the above. However, where such building has been completed and all other terms of this agreement, except for landscaping, have been met, an occupancy permit may be issued provided that the developer supplies a security deposit in the amount of 110 percent of the estimated cost to complete the landscaping. The security deposit shall be in the form of a certified cheque or an automatically renewing letter of credit issued by a chartered bank to the Development Officer. Should the developer not complete the landscaping within twelve months of issuance of the occupancy permit, the Municipality may use the deposit to complete the landscaping as set out on the landscape plan. The security deposit or unused portion of the security deposit shall be returned to the developer upon completion of the work and its certification.

2.4 Solid Waste Facilities

The proposed building shall include designated space for three stream (refuse, recycling and composting) source separation services (containers, rooms, facilities, etc.) for the multiple-unit residential uses proposed. This designated space for source separation services shall be shown on the building plans and approved by the Development Officer and Building Inspector in consultation with the General Manager of Solid Waste Resources.

2.5 Encroachments

The proposed building encroachments into the street rights-of-way, illustrated on the attached Schedules, shall require the approval of Regional Council and a separate encroachment license as per the requirements of the Encroachment By-law (By-law E-200).

2.6 Ground Floor Commercial Uses

The commercial retail spaces shown on Schedules G and H which have direct or indirect access to the street/sidewalk (including the hotel related retail/ restaurant uses) shall not be converted to non-commercial uses or commercial uses which do not involve direct or indirect customer access to the street/ sidewalk.

2.7 Variations

Notwithstanding section 2.1, the Development Officer may approve variations to the internal floor plans affecting the type and number of residential units and population count, internal floor layout of the hotel, parking levels and commercial uses and minor variations to the exterior podium level details of the building provided that the intent of Section 2.6 is met and that the overall design is substantially in conformance with Schedules B through Z and A-1 through F-1. The penthouse floor level (Schedule N) may be used for residential, hotel or other commercial purposes.

2.8 Surveyor Certification re: Viewplanes

Prior to the issuance of both a Development Permit and Occupancy Permit for any portion of the development, the Developer shall provide to the Development Officer written certification from a professional surveyor that both the proposed development and completed building does not violate sections 24 and 26B of the Halifax Peninsula Land Use By-law.

2.9 Underground Utilities/ Street Right-of-Way

The Developer agrees to place all utility services underground. In addition to being responsible for the cost of placing secondary services underground, the Developer agrees to pay for all civil costs required to place the utility wires (primary services) underground that are currently above ground within those portions of Granville Street, Sackville Street and Hollis Street which abut the site. It is expected that any cabling or pole removal costs associated with the placement of the wiring underground will be borne by the respective utility.

2.10 Vehicular Layby on Hollis Street

A vehicular layby may be permitted on Hollis Street abutting the hotel entrance as shown on Schedules B and G. The Developer shall be responsible for ensuring that sidewalk design and maintenance issues on the private portion of the sidewalk are in conformance with clauses 2.3 (b) and (e) and the Developer agrees that full public access along the private portion of the sidewalk shall be granted to pedestrians travelling along Hollis Street. In the event that additional laybys are approved by the Development Engineer, the same requirements as above shall apply.

2.11 Parking as Interim Use of Lands

Vehicular parking for the public shall be permitted on the lands as an interim land use provided the following:

- (a) landscaping and fencing is provided along the perimeter of the site except at driveway and pedestrian entrances/exits;
- (b) an attendant kiosk may be permitted at the vehicular entrance/ exit;
- (c) parking shall be rented on a monthly basis only and shall not be for the exclusive use of any block or building in the area;

- (d) the interim parking use shall be permitted until such time as the building permit is issued and construction commences and may only be extended by resolution of Council pursuant to Section 3.1 (e).

2.12 Wind Mitigation Measures

The Developer shall submit a report to the Development Officer prepared by a professional engineer experienced in wind engineering which outlines proposed wind mitigation measures for the development. The report shall specify various mitigation measures / solutions which will result in acceptable wind conditions as identified in the wind study report dated May 4, 2005. Appropriate mitigation measures/ solutions shall be approved by the Development Officer prior to the issuance of a Development Permit except those which, in the opinion of the Development Officer, involve a substantial change in the design of the building, those which are not in accordance with the Capital District standards and / or those which require an encroachment license. In these instances, such measures shall be considered by Regional Council as per Sections 2.5 and 3.1 (d) prior to the issuance of a Development Permit. Mitigation measures / solutions shall be shown on the building plans submitted for Development Permit approval and completed prior to the issuance of an occupancy permit.

2.13 Vehicular Loading/ Unloading

Vehicular loading and unloading shall not be permitted during morning and afternoon peak traffic hours. The loading area abutting Hollis Street shall be clearly demarcated with signs and/or pavement markings or other suitable pedestrian warning devices.

2.14 Environmental Remediation and Archeological Investigation

The Developer agrees to comply with the legislation and regulations of the Province of Nova Scotia with regard to archeological investigation/ special places protection and environmental remediation of the lands.

PART 3: AMENDMENTS

- 3.1 The provisions of this Agreement relating to the following matters are identified as, and shall be deemed to be, not substantive and may be amended by resolution of the Regional Council:
 - (a) changes to the exterior architectural appearance of the building or the design, layout and positioning of the building, excepting those which are approvable by the Development Officer pursuant to sections 2.7 and 2.12, provided that plans are submitted for any changes to the building design and that such changes, in the opinion of Council, are minor in nature;
 - (b) changes to the architectural requirements as outlined in Section 2.2 and corresponding plans / Schedules which, in the opinion of Council, are minor in nature;
 - (c) changes to the landscaping measures as shown on Schedules "B" and "K" or as detailed in section 2.3 which, in the opinion of Council, are minor in nature;

- (d) wind mitigation measures other than those approvable by the Development Officer (refer to Section 2.12);
 - (e) changes to the time frames for commencement and/or completion of the development as outlined in Part 4 and for the interim parking use as outlined in section 2.11.
- 3.2 Amendments to any matters not identified under Section 3.1 shall be deemed substantive and may only be amended in accordance with the approval requirements of the Municipal Government Act.

PART 4: REGISTRATION, EFFECT OF CONVEYANCES AND DISCHARGE

- 4.1 A copy of this Agreement and every amendment and discharge of this Agreement shall be recorded at the office of the Registry of Deeds at Halifax, Nova Scotia, and the Developer shall pay or reimburse the Municipality for the registration cost incurred in recording such documents.
- 4.2 This Agreement shall be binding upon the parties thereto, their heirs, successors, assigns, mortgagees, leasees and all subsequent owners, and shall run with the land which is the subject of this Agreement until this Agreement is discharged by the Council.
- 4.3 In the event that construction of the project has not commenced within 4 years from the date of approval of this Agreement by the Municipality, as indicated herein, the Municipality may, by resolution of Council, either discharge this Agreement whereupon this Agreement shall have no further force or effect, or upon the written request of the Developer, grant an extension to the date of commencement of construction. For the purposes of this section, "commencement of construction" shall mean the issuance of Development and Building Permits, site excavation and completion of the first underground parking level of the development (Schedule "C" - Level P4).
- 4.4 Upon the completion of the development or portions thereof, Council may review this Agreement, in whole or in part, and may:
 - (a) retain the Agreement in its present form;
 - (b) negotiate a new Agreement;
 - (c) discharge this Agreement on the condition that for those portions of the development that are deemed complete by Council, the Developer's rights hereunder are preserved and the Council shall apply appropriate zoning pursuant to the Municipal Planning Strategy and Land Use By-law, as may be amended.

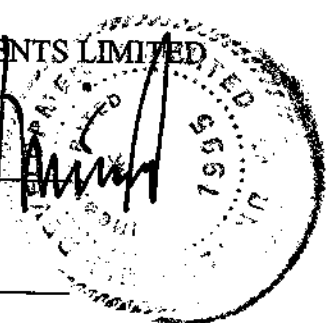
PART 5: ENFORCEMENT AND RIGHTS AND REMEDIES ON DEFAULT

- 5.1 The Developer agrees that any officer appointed by the Municipality to enforce this Agreement shall be granted access onto the Lands during all reasonable hours without obtaining consent of the Developer. The Developer further agrees that, upon receiving written notification from an officer of the Municipality to inspect the interior of any building located on the Lands, the Developer agrees to allow for such an inspection during any reasonable hour within one day of receiving such a request.

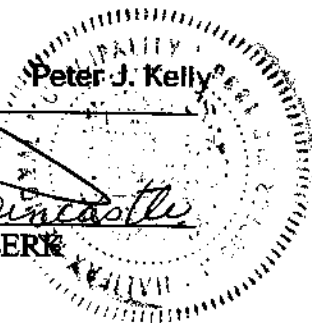
- 5.2 If the Developer fails to observe or perform any covenant or condition of this Agreement after the Municipality has given the Developer thirty (30) days written notice of the failure or default, except that such notice is waived in matters concerning environmental protection and mitigation, then in each such case:
- (a) the Municipality shall be entitled to apply to any court of competent jurisdiction for injunctive relief including an order prohibiting the Developer from continuing such default and the Developer hereby submits to the jurisdiction of such Court and waives any defence based upon the allegation that damages would be an adequate remedy;
 - (b) the Municipality may enter onto the Property and perform any of the covenants contained in this Agreement or take such remedial action as is considered necessary to correct a breach of the development agreement, whereupon all reasonable expenses whether arising out of the entry onto the lands or from the performance of the covenants or remedial action, shall be a first lien on Property and be shown on any tax certificate issued under the Assessment Act.
 - (c) the Municipality may, by resolution, discharge this Agreement whereupon this Agreement shall have no further force or effect and henceforth the development of the Lands shall conform with the provisions of the Land Use By-law; and/or
 - (d) in addition to the above remedies the Municipality reserves the right to pursue any other remediation under the Municipal Government Act or Common Law in order to ensure compliance with this Agreement.

IN WITNESS WHEREOF the parties hereto have hereunto set their hands and seals on the day and year first above written:

Signed, sealed and delivered
in the presence of:)
per: [Signature])
per: _____)

UNITED GULF DEVELOPMENTS LIMITED
per: [Signature]
per: _____


Sealed, Delivered and Attested
by the proper signing officers of
Halifax Regional Municipality
duly authorized on that behalf
in the presence of)
per: [Signature])
[Signature])

HALIFAX REGIONAL MUNICIPALITY
per: [Signature]
MAYOR
per: [Signature]
MUNICIPAL CLERK


SCHEDULE "A"

All that certain parcel of land on Granville Street, Halifax Regional Municipality, Nova Scotia designated as Lot 1B on a Subdivision Plan of Lot 1 lands owned by Halifax Regional Municipality, Hollis Street, Granville Street, Sackville Street and Salter Street by Bruce Mahar, N.S.L.S dated June 20, 2000, said Lot 1B being approved by Halifax Regional Municipality on June 8, 2001 and being more particularly described as follows:

Commencing at a survey marker at the corner of Sackville Street and Granville Street;

Thence North 69 degrees 04 minutes 22 seconds East 122.39 feet along Sackville Street to a survey marker;

Thence South 20 degrees 55 minutes 37 seconds East 243.71 feet along the southern side of Hollis Street to a rock post;

Thence South 69 degrees 04 minutes 23 seconds West 122.97 feet to a survey marker on the northern side of Granville Street;

Thence North 20 degrees 47 minutes 33 seconds West 243.71 feet along the northern boundary of Granville Street to the point of commencement.

An approved plan of subdivision has been filed under the Registry Act or registered or recorded under the Act.

SCHEDULE A

ALL that certain lot, piece and parcel of land situate on the western side line of Hollis Street, Halifax County, Province of Nova Scotia, being designated as Lot Y on a Plan Showing Location of civic No. 1568, 1572, 1586 Hollis Street, said plan dated June 13, 1974, signed by J. Forbes Thompson, N.S.L.S., which plan was approved by City Council of the City of Halifax as a lot consolidation of lots 9 and 10 to form Lot Y, on September 26, 1974.

Commencing at the northeast corner of the lot being civic number 1562 Hollis Street at the Hollis Street line and thence running in a southwesterly direction along the northern boundary line of the lot being civic number 1562 a distance of 80 feet, more or less, to the southeast corner of lot number 1;

Thence along the eastern boundary lines of lots 1 and 2 a distance of 80 feet more or less to the southwestern corner of lot 11;

Thence along the southern boundary line of lot 11 a distance of 60 feet, more or less, to the western side line of Hollis Street.

Thence along the western side line of Hollis Street a distance of 80 feet, more or less, to the point of commencement;

Being and intended to be the same lands conveyed from Austen Bros. Limited to Snac Pac Services Limited by Deed bearing date the June 30, A.D., 1969 and registered in the Office of the Registrar of Deeds for Halifax County in Book 2321 at pages 125 to 128.

An approved plan of subdivision has been filed under the Registry Act or registered or recorded under the Act.

Lot X
Granville Street
Halifax, Nova Scotia

ALL THAT CERTAIN parcel of land at Halifax, Nova Scotia and shown as Lot X on a plan of survey of Lot LAX and Lot X; A Subdivision of Lot 1A, lands owned by Halifax Regional Municipality; signed by Bruce Mahar, N.S.L.S., dated October 14, 2005; filed as Alderney Surveys Limited Plan no. 055214-1 and described as follows:

BEGINNING at a point at the juncture of the south boundary of Lot 1B with the east boundary of Granville Street;

THENCE south 20 degrees 47 minutes 33 seconds east a distance of 61.60 feet along a portion of the east boundary of Granville Street to a north boundary of Lot 1AX;

THENCE north 69 degrees 04 minutes 23 seconds east a distance of 20.58 feet along the said north boundary of Lot 1AX to an east boundary of Lot 1AX;

THENCE south 20 degrees 55 minutes 37 seconds east a distance of 18.40 feet along the said east boundary of Lot 1AX to a point on a north boundary of Lot 1AX;

THENCE north 69 degrees 04 minutes 23 seconds east a distance of 42.53 feet along a portion of the said north boundary of Lot 1AX to a point on the west boundary of Lot Y;

THENCE north 20 degrees 55 minutes 37 seconds west a distance of 80.00 feet along the west boundary of Lot Y to a point on the south boundary of Lot 1B;

THENCE south 69 degrees 04 minutes 23 seconds west a distance of 62.97 feet along a portion of the south boundary of Lot 1B to the POINT OF BEGINNING.

CONTAINING 4,666 square feet.

SUBJECT TO an access and service easement in favour of Lot 1AX shown on the abovementioned plan as Easement 1AX-1 and described as follows:

BEGINNING at a point at the juncture of an east boundary of Granville Street with a south boundary of Lot X;

THENCE north 20 degrees 47 minutes 33 seconds west a distance of 5.00 feet along a portion of the said east boundary of Granville Street to a point;

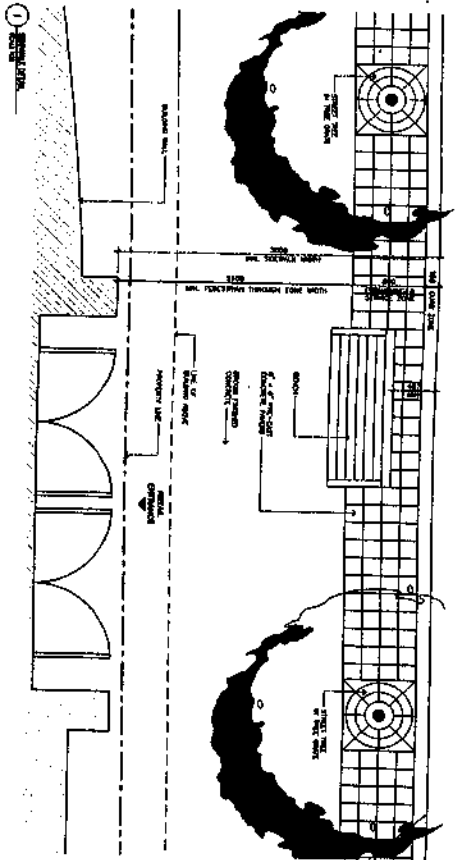
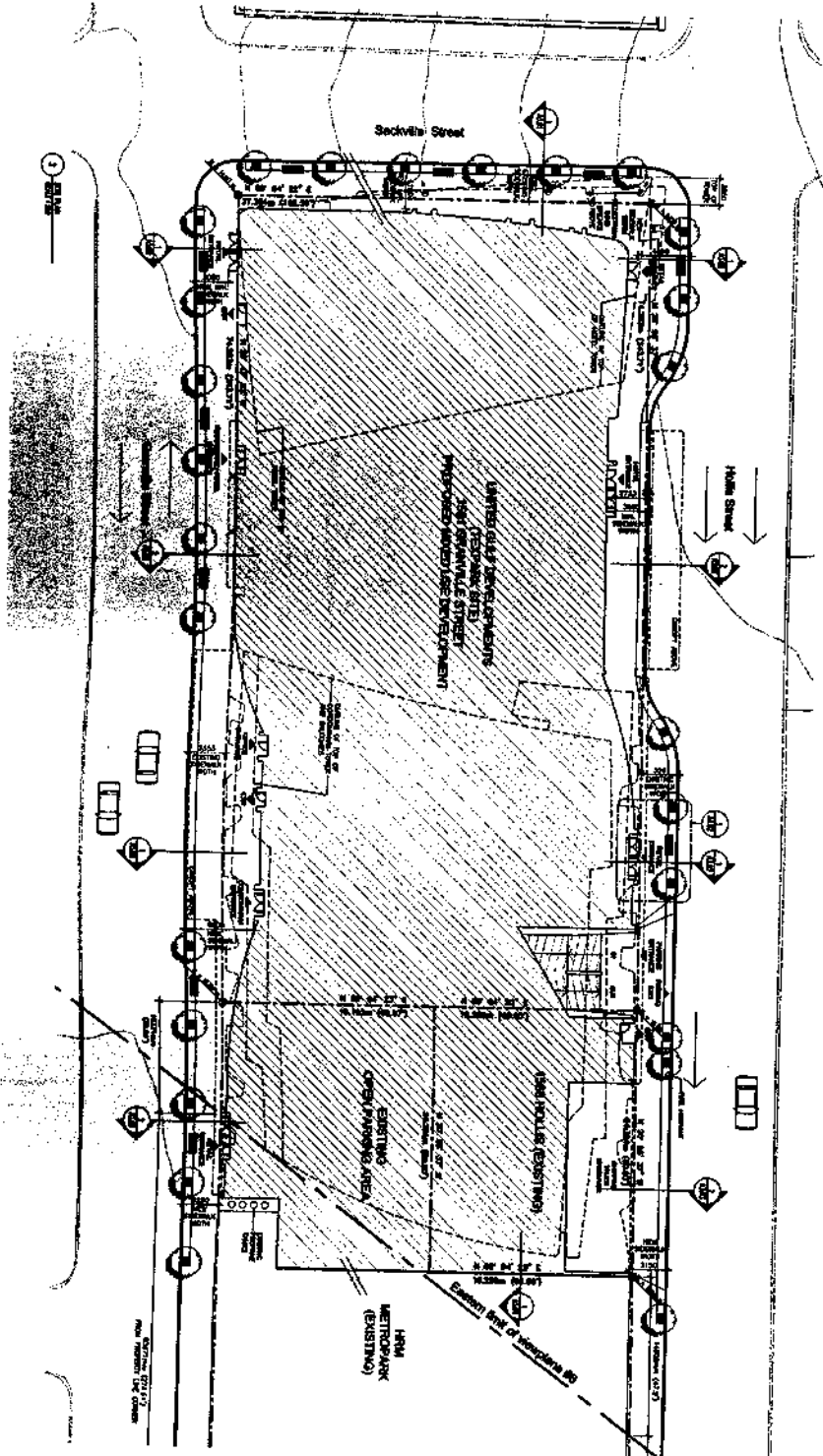
THENCE north 69 degrees 04 minutes 23 seconds east a distance of 20.56 feet to a point;

THENCE south 20 degrees 55 minutes 37 seconds east a distance of 5.00 feet to a point on the aforementioned south boundary of Lot X;

THENCE south 69 degrees 04 minutes 23 seconds west a distance of 20.58 feet along the said south boundary of Lot X to the POINT OF BEGINNING;

CONTAINING 103 square feet.

BEARINGS are referred to the Nova Scotia Co-ordinate Survey System, Central Meridian 64 degrees 30 minutes West.



Schedule "B" - Plan #00709-001

Urban Core Development Ltd.
 1000 Main Street, Suite 100
 Toronto, Ontario M5E 1B5
 Tel: (416) 593-8888

HPA HPA #00709-001
 1000 Main Street, Suite 100
 Toronto, Ontario M5E 1B5
 Tel: (416) 593-8888

Division Land Use Development
 501 Gundy Street
 Halifax, Nova Scotia
 B3H 2Y1
 Tel: (902) 494-2200

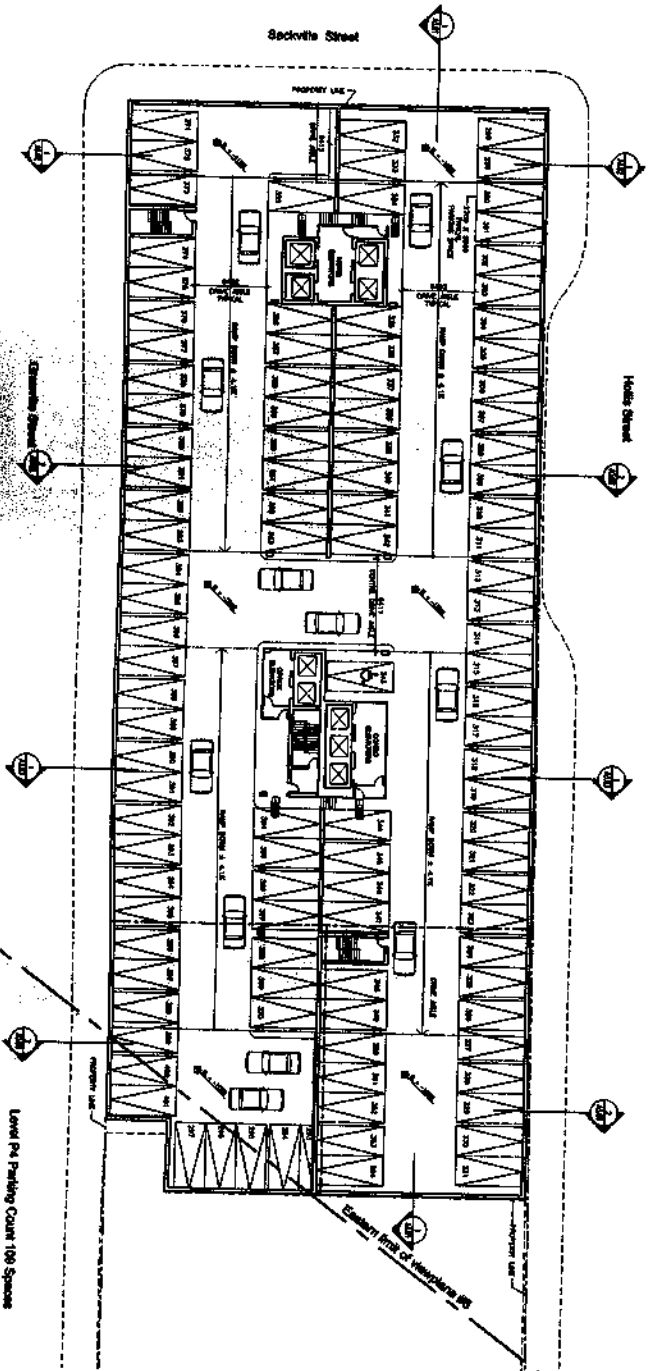
Site Plan
 Submit Date

DATE: 1/11/01
 DRAWN: [Name]
 CHECKED: [Name]

A102

NOTES:

1. This plan is submitted in accordance with the provisions of the Planning Act, R.S.O. 1990, c. 309, and the Planning Act Regulations, R.R.O. 1997, c. 191.
2. The applicant warrants that the information provided in this plan is true and correct to the best of their knowledge and belief.
3. The applicant warrants that the information provided in this plan is true and correct to the best of their knowledge and belief.
4. The applicant warrants that the information provided in this plan is true and correct to the best of their knowledge and belief.
5. The applicant warrants that the information provided in this plan is true and correct to the best of their knowledge and belief.



This drawing is to be used for the design and construction of the project. It is the property of the architect and shall not be used for any other purpose without the written consent of the architect. The architect assumes no responsibility for the accuracy of the information provided by the client. The architect shall not be held liable for any errors or omissions in this drawing.

DATE OF CONTRACT SIGNATURE	2009.11.10
DATE OF REVISION	2010.03.10
NO.	001

Schedule "C" - Plan #00709-002

United Gulf Development Ltd.
 1200 Highway 100, Unit 101
 Mississauga, Ontario L4W 4Y4
 Phone: 905.875.1200

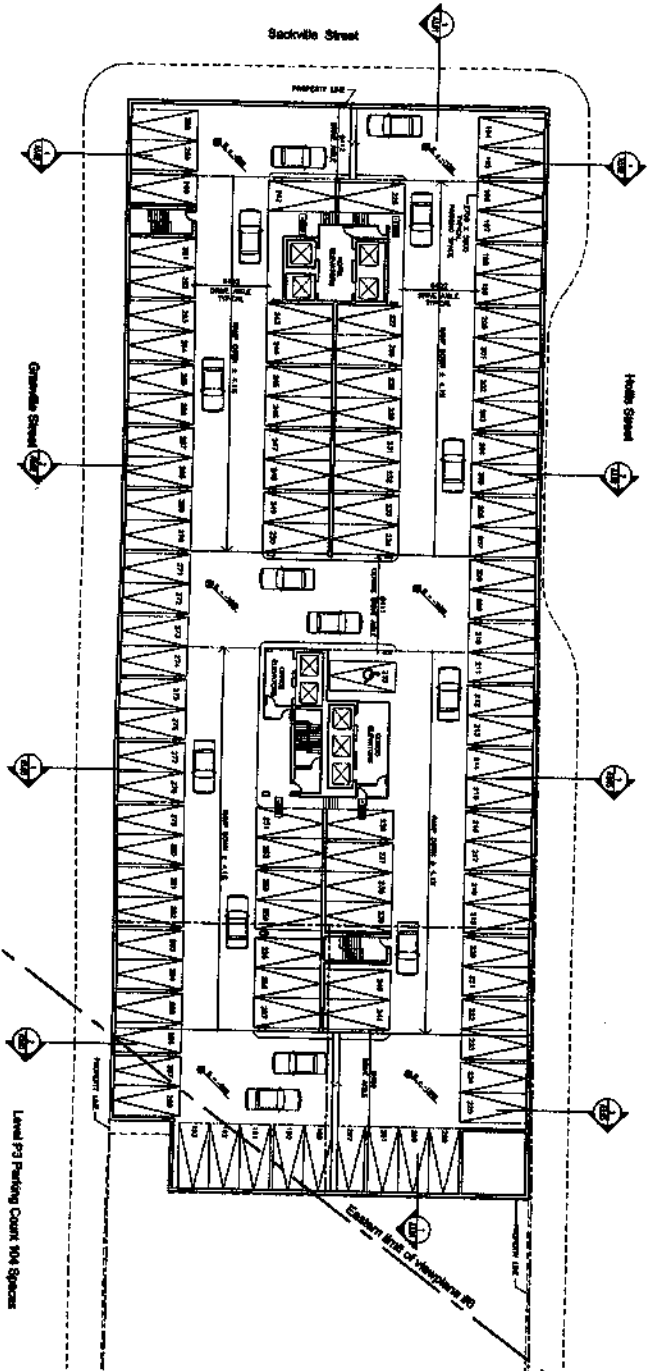
HPA
 2500 Highway 100, Unit 101
 Mississauga, Ontario L4W 4Y4
 Phone: 905.875.1200

Dominion Land Use Development
 550 Dundas Street West
 Toronto, Ontario M5G 1R8
 Phone: 416.593.8888

Parking Plan
 Level - Pd

DATE	2010.03.10
BY	HPA
NO.	001

A201



1. The Architect warrants that the drawings were prepared by him or under his direct supervision and that he is a duly Licensed Professional Architect in the State of Ontario.
 2. The Architect warrants that the drawings were prepared by him or under his direct supervision and that he is a duly Licensed Professional Architect in the State of Ontario.
 3. The Architect warrants that the drawings were prepared by him or under his direct supervision and that he is a duly Licensed Professional Architect in the State of Ontario.
 4. The Architect warrants that the drawings were prepared by him or under his direct supervision and that he is a duly Licensed Professional Architect in the State of Ontario.

DATE OF PREPARATION	2017.08.01
SCALE	1/8" = 1'-0"

Schedule "D" - Plan #00709-003

United Steel Developments Ltd.
 1000 Sheppard Ave. E.
 Toronto, Ontario M2M 3L2

HPA
 1000 Sheppard Ave. E.
 Toronto, Ontario M2M 3L2

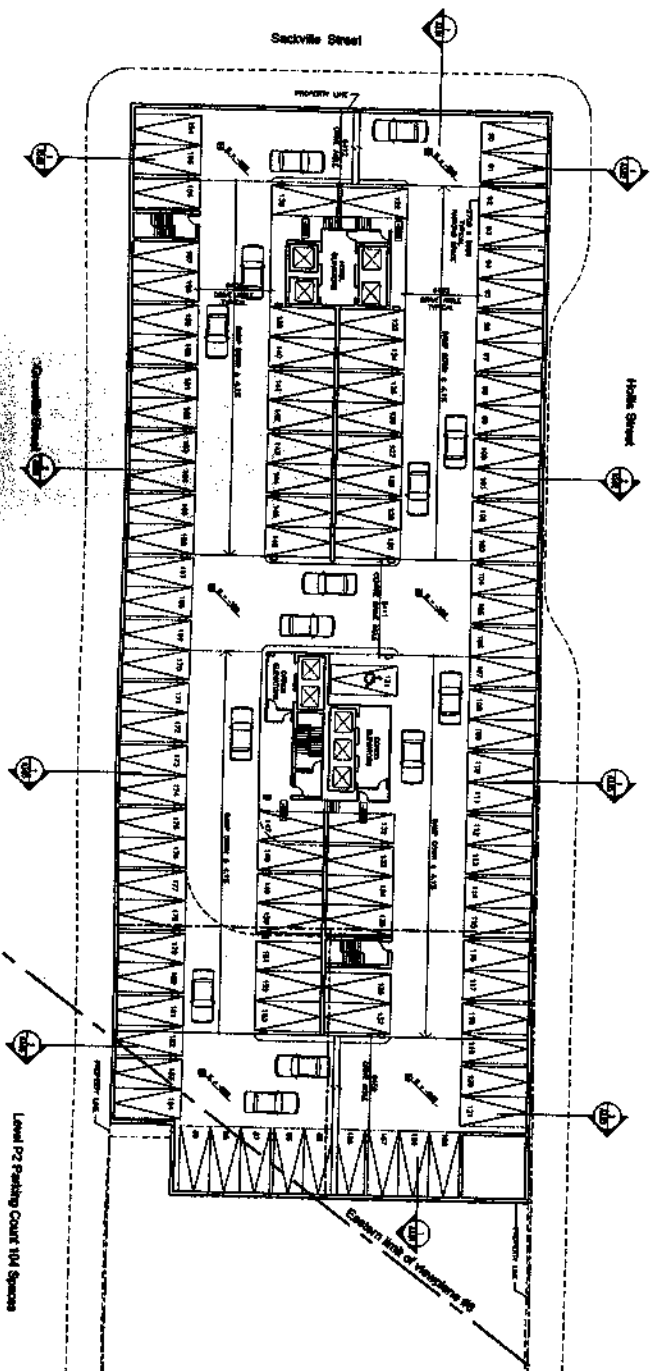
DESIGN PROFESSIONAL REGISTRATION

Overseas Steel Ltd. Developer
 801 Grandview Ave.
 Scarborough, Ontario M1S 1C5

Parking Plan
 Level - P3

DATE	2017.08.01
SCALE	1/8" = 1'-0"

A202



1. The information on this drawing is the property of the Architect. It is to be used only for the project and site identified herein. It is not to be used for any other project or site without the written consent of the Architect.

DATE OF REVISION: 08/17/09
 NO. 1

Schedule "G" - Plan #00709-004

Michael Gaur Development, LLC
 1000 North 1st Street, Suite 100
 Minneapolis, MN 55401

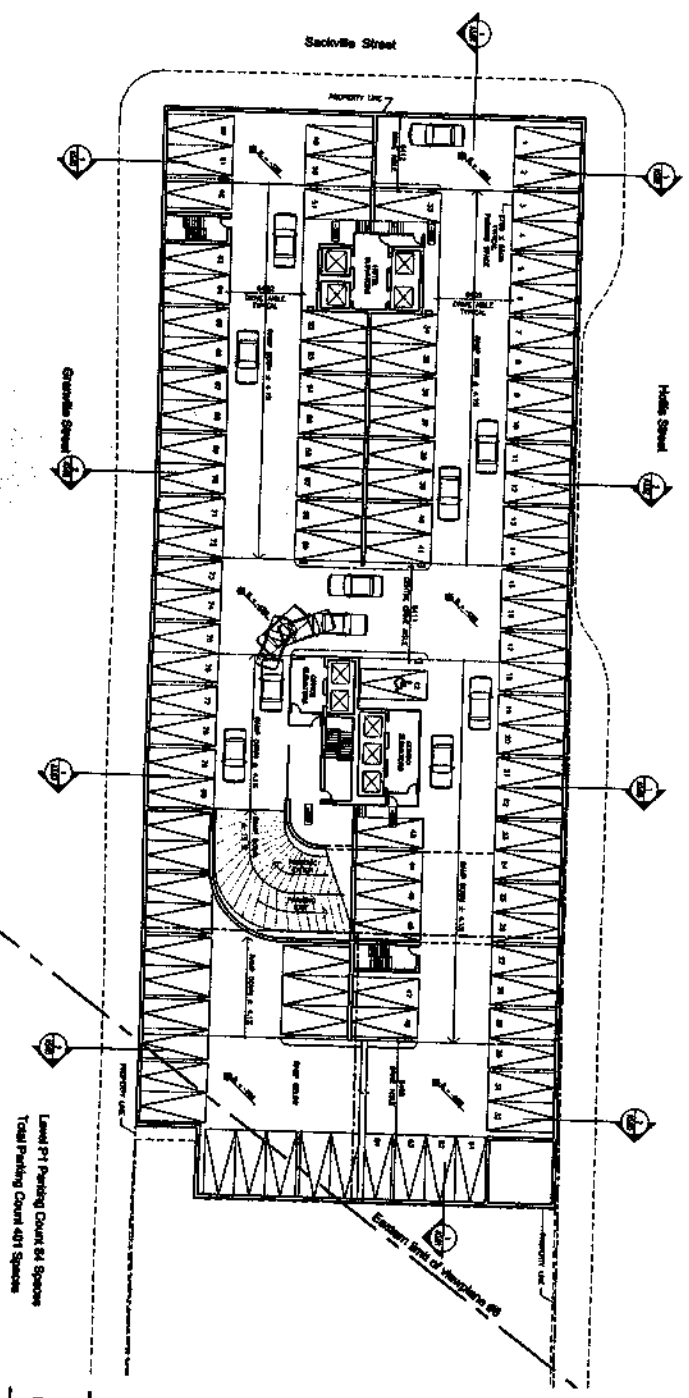
HPA
 1000 North 1st Street, Suite 100
 Minneapolis, MN 55401

Questions About This Development
 801 Grand Street
 Minneapolis, MN 55401

Parking Plan
 Level - P2

Level	Count
P2	104
Total	104

A203



1. The information on this drawing is based on the information provided by the client and is not to be used for any other purpose without the written consent of the architect.

2. The architect is not responsible for the accuracy of the information provided by the client.

3. The architect is not responsible for the accuracy of the information provided by the client.

4. The architect is not responsible for the accuracy of the information provided by the client.

DATE OF ORIGINAL ISSUE: 06/11/04
 DATE OF THIS ISSUE: 06/11/04

Schedule "P" - Plan #00709-005

Universal Steel Developments Ltd.
 1000 Highway 70, Unit 10
 Scarborough, Ontario M1B 2Y1

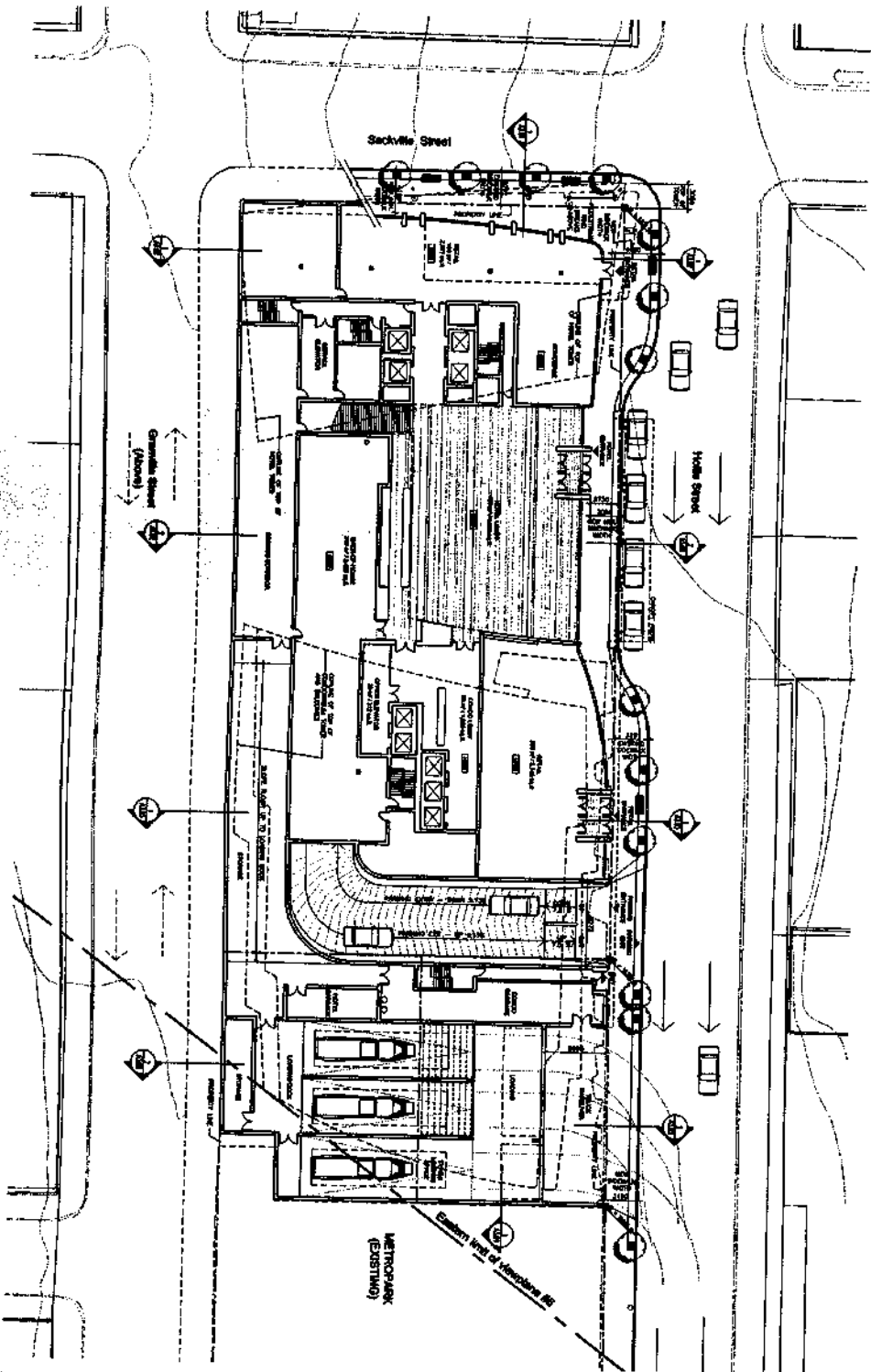
HPA
 1000 Highway 70, Unit 10
 Scarborough, Ontario M1B 2Y1

Division Head (in Development)
 1000 Grandville Street
 Windsor, Ontario N9A 5G6

Parking Plan
 Level - P1

NO. OF SPACES	84
TOTAL	401

A204



1. The information on this drawing is based on the information provided by the client and is not to be used for any other purpose without the written consent of the architect.

2. The architect is not responsible for the accuracy of the information provided by the client.

3. The architect is not responsible for the accuracy of the information provided by the client.

4. The architect is not responsible for the accuracy of the information provided by the client.

DATE OF SITE VISIT: 11/11/11
 SCALE: 1/8" = 1'-0"

Schedule 'C' - Plan #00709-006

United East Developments Ltd.

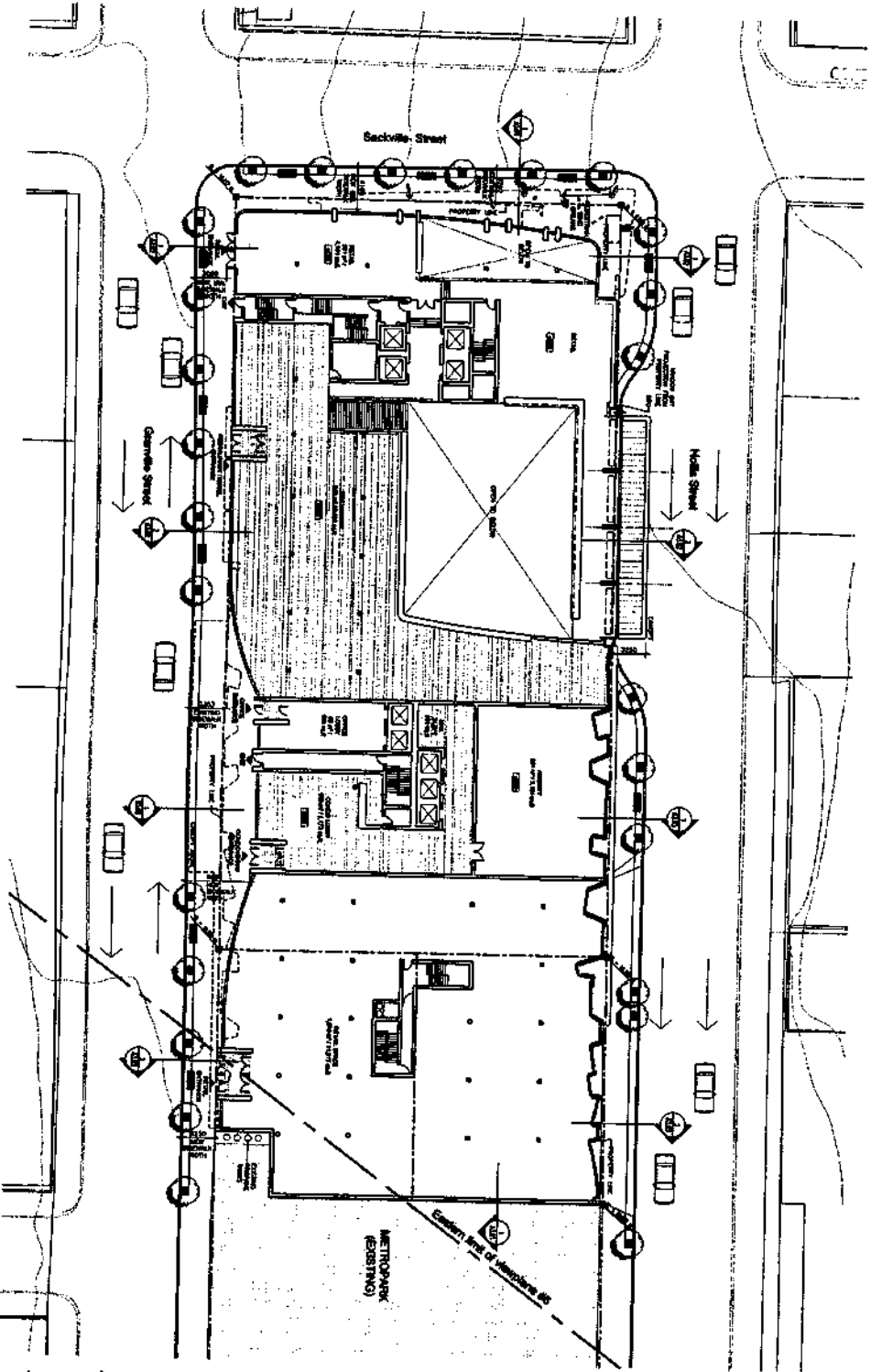
HPA

Division of the City of Toronto
 5th Grand Street
 Market, First Store

Grand Floor Plan
 5th Street Level - U

DATE	11/11/11
SCALE	1/8" = 1'-0"
PROJECT	5th Grand Street Market

A205



1. The information shown on this plan is based on the information provided by the applicant and is not to be used for any other purpose. The applicant is responsible for the accuracy of the information provided. The engineer is not responsible for the accuracy of the information provided. The engineer is not responsible for the accuracy of the information provided.

SHEET NO. 1 OF 1
 DATE: 1/1/07

Schedule "H" - Plan #00709-007

United Golf Developments Ltd.
 1000 Highway 7, Unit 10
 Markham, Ontario L3R 9V7

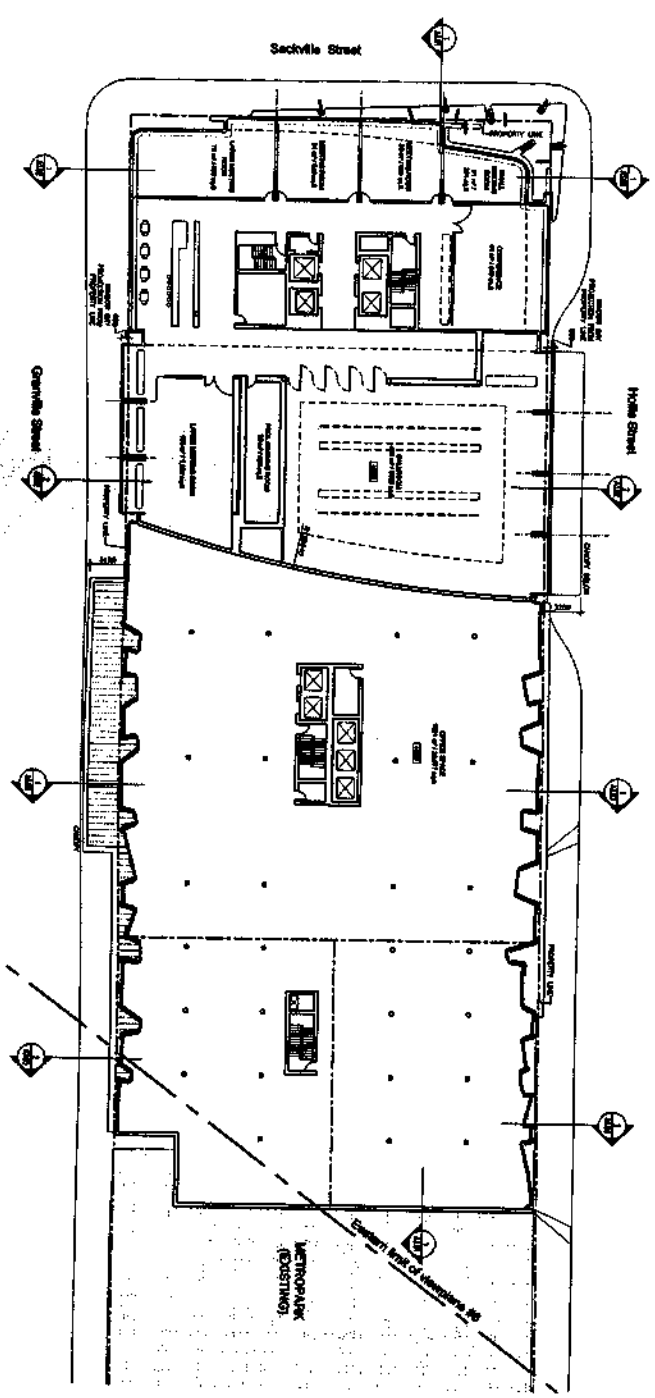
HPA
 1000 Highway 7, Unit 10
 Markham, Ontario L3R 9V7

Developer/Lead Use Developer:
 2071 Grande Street
 Markham, Ontario L3R 9V7

Grand Prix Plus
 Grande Street Land - 12

SHEET NO. 1 OF 1
 DATE: 1/1/07

A206



1. The Architect shall be responsible for the design and construction of the building and shall ensure that the building is constructed in accordance with the approved plans and specifications.

2. The Architect shall be responsible for the design and construction of the building and shall ensure that the building is constructed in accordance with the approved plans and specifications.

Schedule 4/19 - Plan #00709-008

United Steel Development Ltd.
 1000 West Beaver Creek Road
 Richmond Hill, Ontario L4B 1N2

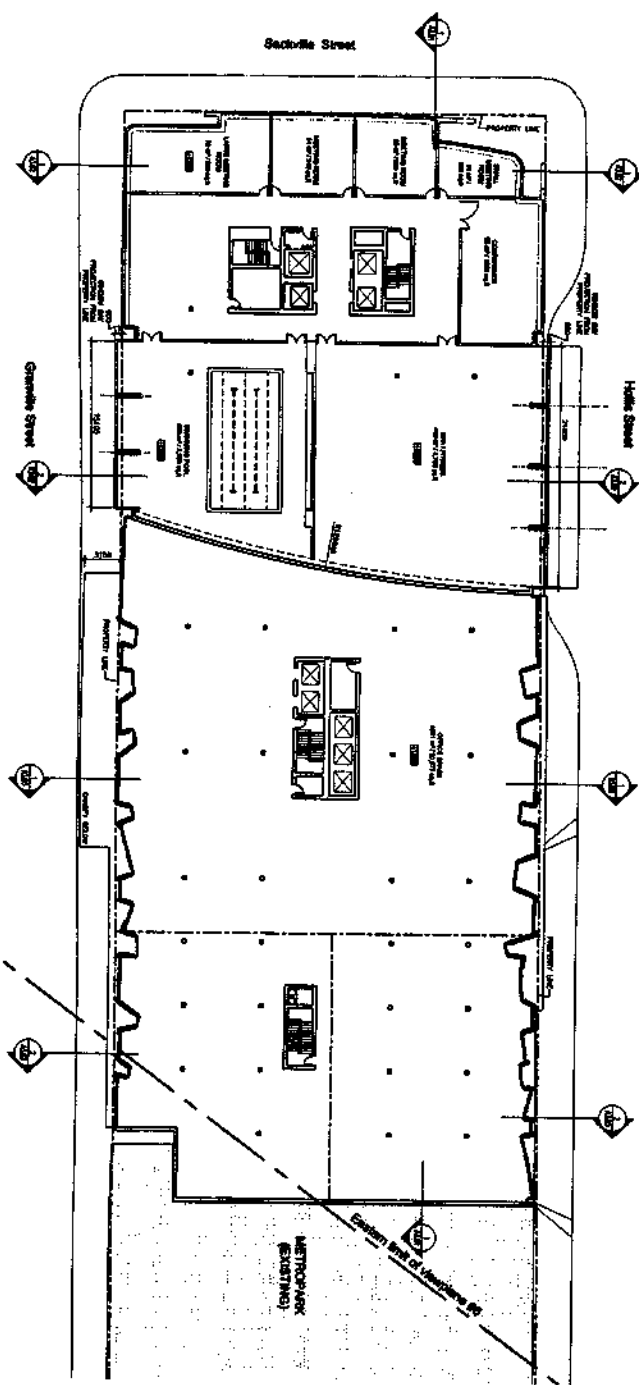
HPA
 1000 West Beaver Creek Road
 Richmond Hill, Ontario L4B 1N2

Overseas Land Use Development
 200 Grenville Street
 Halifax, Nova Scotia

Plan 1 Floor Plan
 Level 3

Area	1000
Volume	1000
Weight	1000

A207



1. This drawing is the property of the Architect and is not to be used for any other project without the written consent of the Architect.

2. The Architect is not responsible for any errors or omissions in this drawing.

3. The Architect is not responsible for any construction methods or materials not specified in this drawing.

4. The Architect is not responsible for any construction methods or materials not specified in this drawing.

5. The Architect is not responsible for any construction methods or materials not specified in this drawing.

DATE: 1/1/08
 DRAWN BY: [Name]
 CHECKED BY: [Name]

Schedule 'G' - Plan #00709-009

United Gulf Developments LLC
 200 West 10th Street
 Houston, Texas 77002
 (713) 261-1111

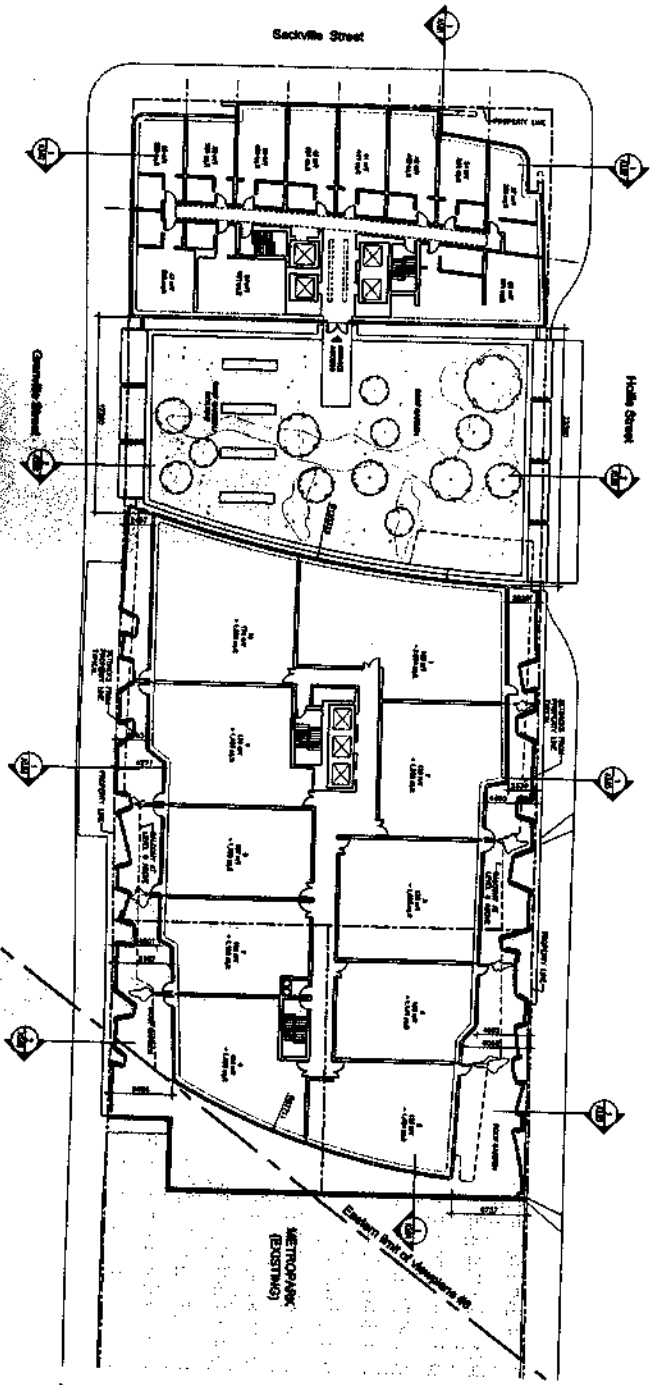
HPA
 Houston Professional Architects
 200 West 10th Street
 Houston, Texas 77002
 (713) 261-1111

Ordinary Steel Pipe Development
 1801 Grandis Street
 Houston, Texas 77002

Project 2 Floor Plan
 Sheet 4

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	1/1/08
2	REVISED	1/1/08
3	REVISED	1/1/08

A2.08



1. The drawings are to be read in conjunction with the contract documents.
 2. The drawings are to be read in conjunction with the contract documents.
 3. The drawings are to be read in conjunction with the contract documents.
 4. The drawings are to be read in conjunction with the contract documents.
 5. The drawings are to be read in conjunction with the contract documents.
 6. The drawings are to be read in conjunction with the contract documents.
 7. The drawings are to be read in conjunction with the contract documents.
 8. The drawings are to be read in conjunction with the contract documents.
 9. The drawings are to be read in conjunction with the contract documents.
 10. The drawings are to be read in conjunction with the contract documents.

DATE	DESCRIPTION
15/11/09	ISSUED FOR TENDER
15/11/09	REVISED
15/11/09	REVISED
15/11/09	REVISED

Schedule 'K' - Plan H00709-010

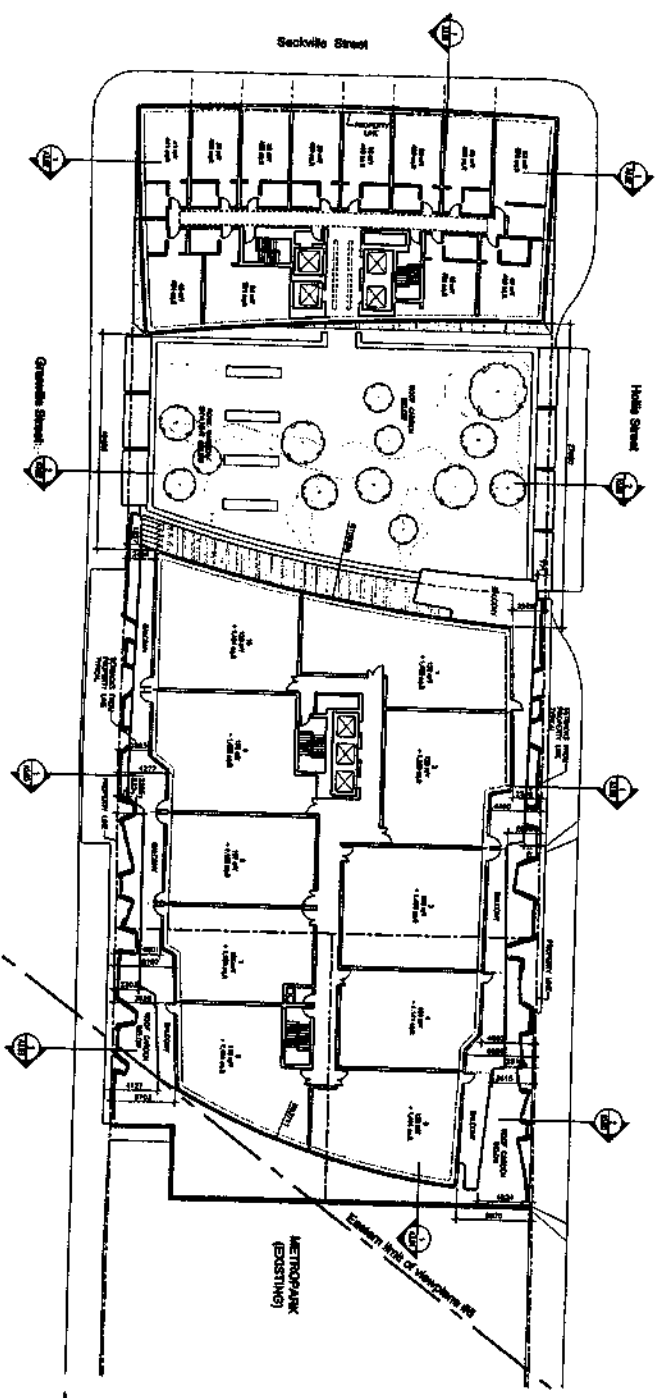
Groundwell Developments Ltd.
 250 Queen Street West
 Toronto, Ontario M5H 1G8
 Tel: 416-593-1111
 Fax: 416-593-1112

HPA
 250 Queen Street West
 Toronto, Ontario M5H 1G8
 Tel: 416-593-1111
 Fax: 416-593-1112

Revision Table

NO.	DATE	DESCRIPTION
1	15/11/09	ISSUED FOR TENDER
2	15/11/09	REVISED
3	15/11/09	REVISED
4	15/11/09	REVISED

A209



1. The owner hereby certifies that the information furnished herein is true and correct to the best of his knowledge and belief.

2. The owner hereby certifies that the information furnished herein is true and correct to the best of his knowledge and belief.

3. The owner hereby certifies that the information furnished herein is true and correct to the best of his knowledge and belief.

4. The owner hereby certifies that the information furnished herein is true and correct to the best of his knowledge and belief.

5. The owner hereby certifies that the information furnished herein is true and correct to the best of his knowledge and belief.

DATE OF PREPARED DRAWING: 11/11/11
 DRAWING NO.: 11111

Schedule "L" - Plan #00709-011

United Steel Developments Ltd.
 1000 West Beaver Creek Road
 Richmond Hill, Ontario L4B 1N2

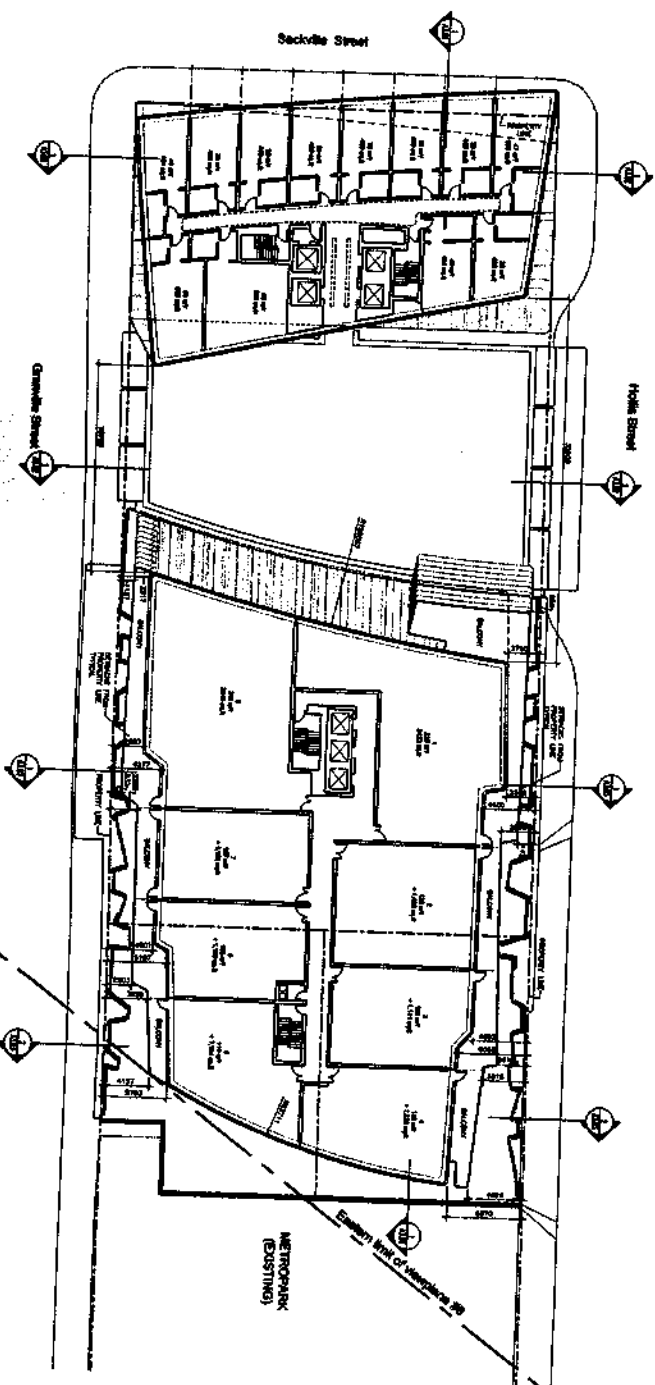
HPA
 1000 West Beaver Creek Road
 Richmond Hill, Ontario L4B 1N2

Downtown Level (N) Development
 501 Grandis Street
 Halifax, Nova Scotia

Level N Floor Plan

DATE	11/11/11
SCALE	1/8" = 1'-0"
DRAWN BY	HPA
CHECKED BY	HPA

A210



1. The information contained herein is for informational purposes only and does not constitute an offer of any financial product or service. The information is provided for your general information only and is not intended to be used as a basis for investment decisions. The information is subject to change without notice and is not guaranteed. Please consult your financial advisor for more information.

SHEET NO. 1 OF 1
 DATE: 11/11/11
 SCALE: AS SHOWN

Schedule "M" - Plan #00709-012

United Star Development LLC
 10000 E. 1st Ave. Suite 100
 Denver, CO 80231

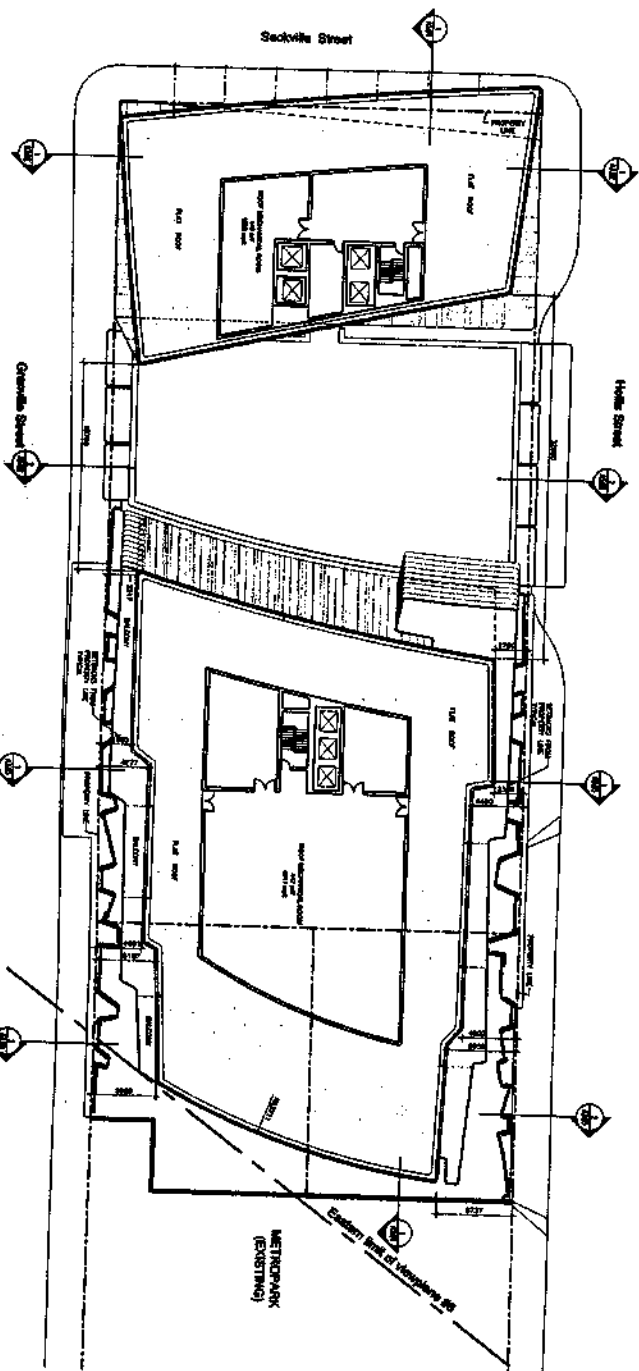
HPA
 HPA ARCHITECTS
 10000 E. 1st Ave. Suite 100
 Denver, CO 80231

Developer/Lead/Use Developer
 501 Grand Street
 Denver, CO 80202

Level 20 Floor Plan

DATE	11/11/11
SCALE	AS SHOWN
SHEET NO.	1 OF 1

A211



NOTES

1. THIS PLAN IS TO BE USED FOR THE PURPOSES OF THE APPLICABLE ZONING ORDINANCE AND IS NOT TO BE CONSIDERED AS A CONTRACT DOCUMENT.
2. THE APPLICABLE ZONING ORDINANCE IS THE CITY OF SEATTLE ZONING ORDINANCE, CHAPTER 25.05, AS AMENDED.
3. THE APPLICABLE ZONING DISTRICT IS THE COMMERCIAL ZONING DISTRICT (CZ).
4. THE APPLICABLE ZONING ORDINANCE IS THE CITY OF SEATTLE ZONING ORDINANCE, CHAPTER 25.05, AS AMENDED.
5. THE APPLICABLE ZONING DISTRICT IS THE COMMERCIAL ZONING DISTRICT (CZ).
6. THE APPLICABLE ZONING ORDINANCE IS THE CITY OF SEATTLE ZONING ORDINANCE, CHAPTER 25.05, AS AMENDED.
7. THE APPLICABLE ZONING DISTRICT IS THE COMMERCIAL ZONING DISTRICT (CZ).
8. THE APPLICABLE ZONING ORDINANCE IS THE CITY OF SEATTLE ZONING ORDINANCE, CHAPTER 25.05, AS AMENDED.
9. THE APPLICABLE ZONING DISTRICT IS THE COMMERCIAL ZONING DISTRICT (CZ).
10. THE APPLICABLE ZONING ORDINANCE IS THE CITY OF SEATTLE ZONING ORDINANCE, CHAPTER 25.05, AS AMENDED.

DATE	DESCRIPTION
12/15/10	REVISED FOR PERMITS
12/15/10	REVISED FOR PERMITS
12/15/10	REVISED FOR PERMITS

Schedule "N" - Plan #00709-013

United Staff Development, LLC
 2000 1st Avenue
 Seattle, WA 98101

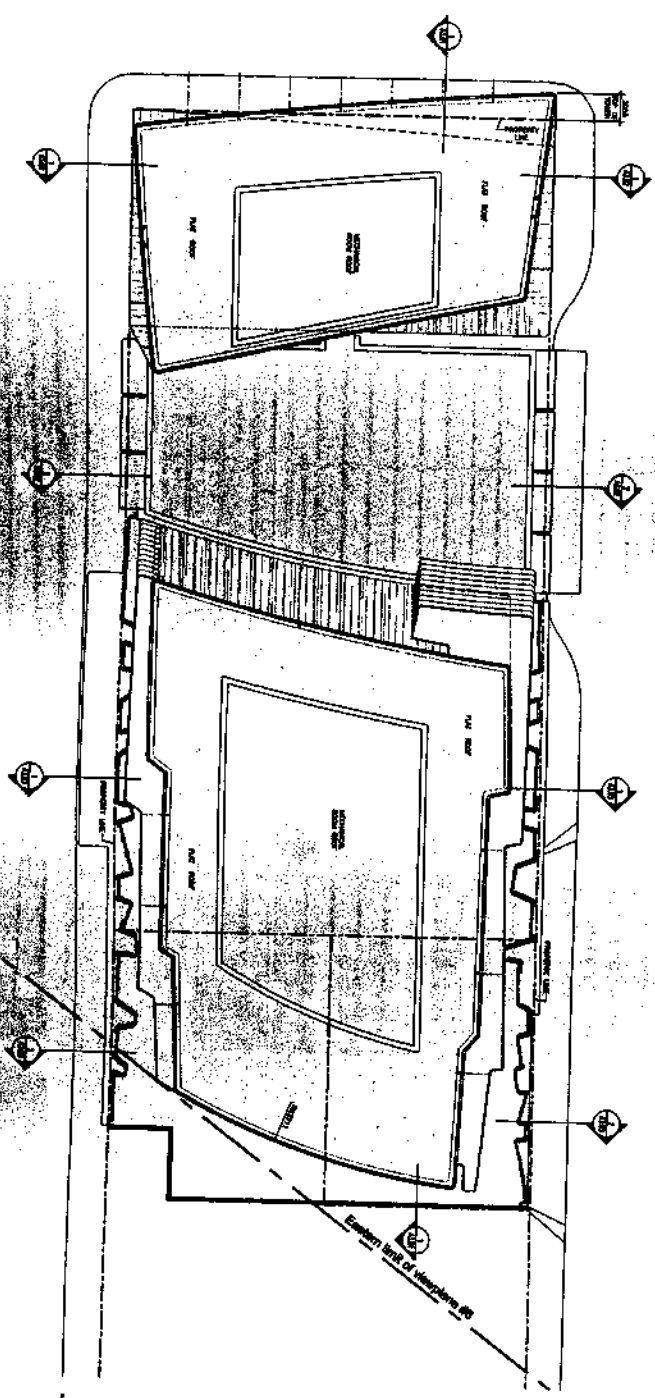
HPA
 HPA Development, LLC
 2000 1st Avenue
 Seattle, WA 98101

Downtown Land Use Department
 2000 1st Avenue
 Seattle, WA 98101

Permitted Use Fee
 \$1000

DATE	DESCRIPTION
12/15/10	REVISED FOR PERMITS
12/15/10	REVISED FOR PERMITS
12/15/10	REVISED FOR PERMITS

A22



1. All dimensions are in feet and inches unless otherwise noted.
 2. All dimensions are to the center of the wall unless otherwise noted.
 3. All dimensions are to the center of the door unless otherwise noted.
 4. All dimensions are to the center of the window unless otherwise noted.
 5. All dimensions are to the center of the column unless otherwise noted.
 6. All dimensions are to the center of the beam unless otherwise noted.
 7. All dimensions are to the center of the slab unless otherwise noted.
 8. All dimensions are to the center of the ceiling unless otherwise noted.
 9. All dimensions are to the center of the floor unless otherwise noted.
 10. All dimensions are to the center of the wall unless otherwise noted.

DATE	1/1/2000
BY	HPA
NO.	100

Schedule "O" - Plan #00709-014

United Golf Developments Ltd.
 2000 Highway 101
 Suite 100
 Mississauga, Ontario L4W 1M9

HPA
 2000 Highway 101
 Suite 100
 Mississauga, Ontario L4W 1M9

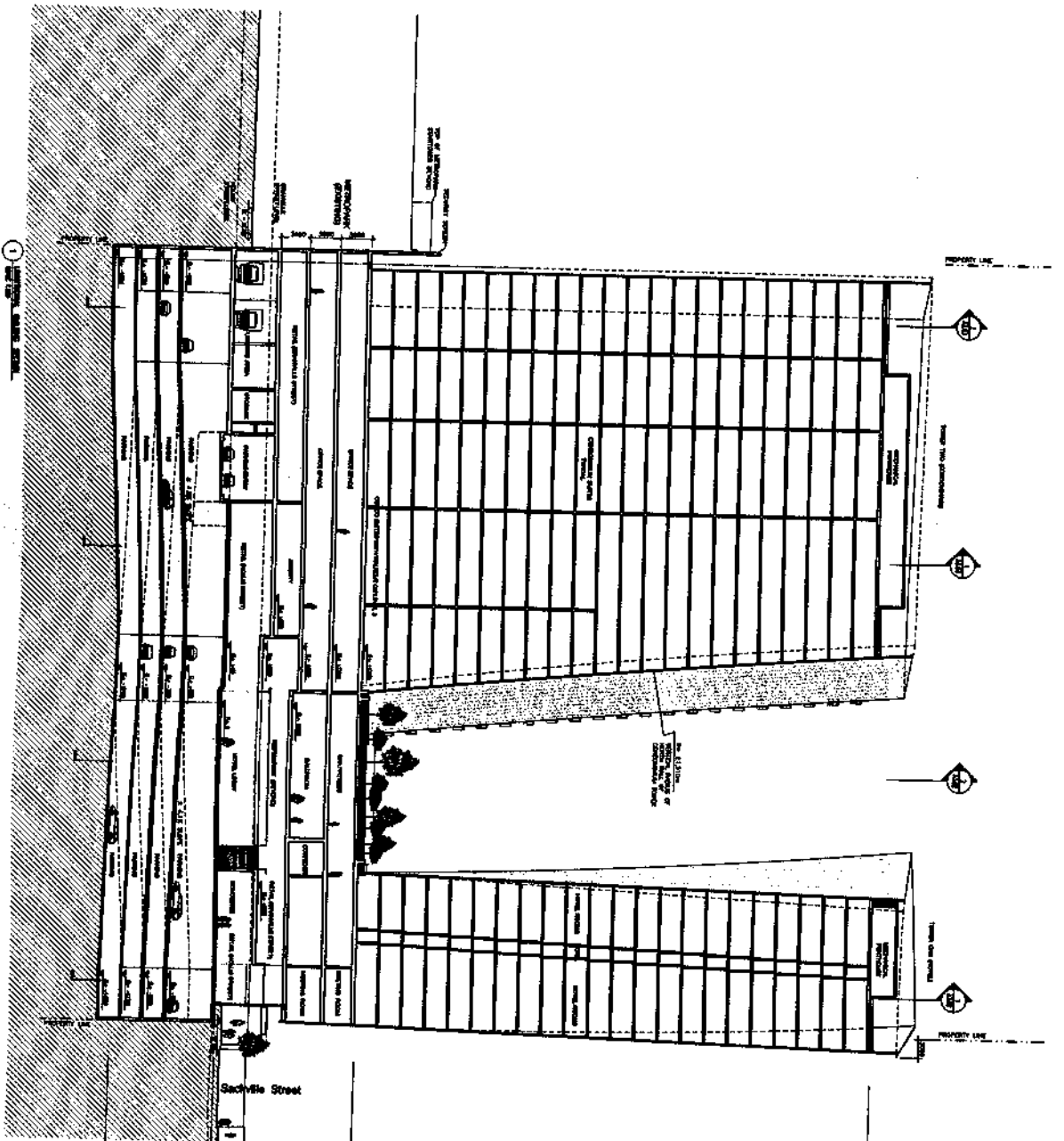
ARCHITECTS

Developments United Ltd. Development
 3011 Guelph Street
 Mississauga, Ontario L4W 1M9

Arch Plan

DATE	1/1/2000
BY	HPA
NO.	100

A218



1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22
A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T	U	V

NOT TO SCALE
 ALL DIMENSIONS IN METERS
 ALL DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED
 ALL DIMENSIONS TO CENTERLINE UNLESS OTHERWISE SPECIFIED
 ALL DIMENSIONS TO CENTERLINE UNLESS OTHERWISE SPECIFIED
 ALL DIMENSIONS TO CENTERLINE UNLESS OTHERWISE SPECIFIED

DATE: 10/1/01
 BY: [Signature]

Schedule "P" - Plan #00709-015

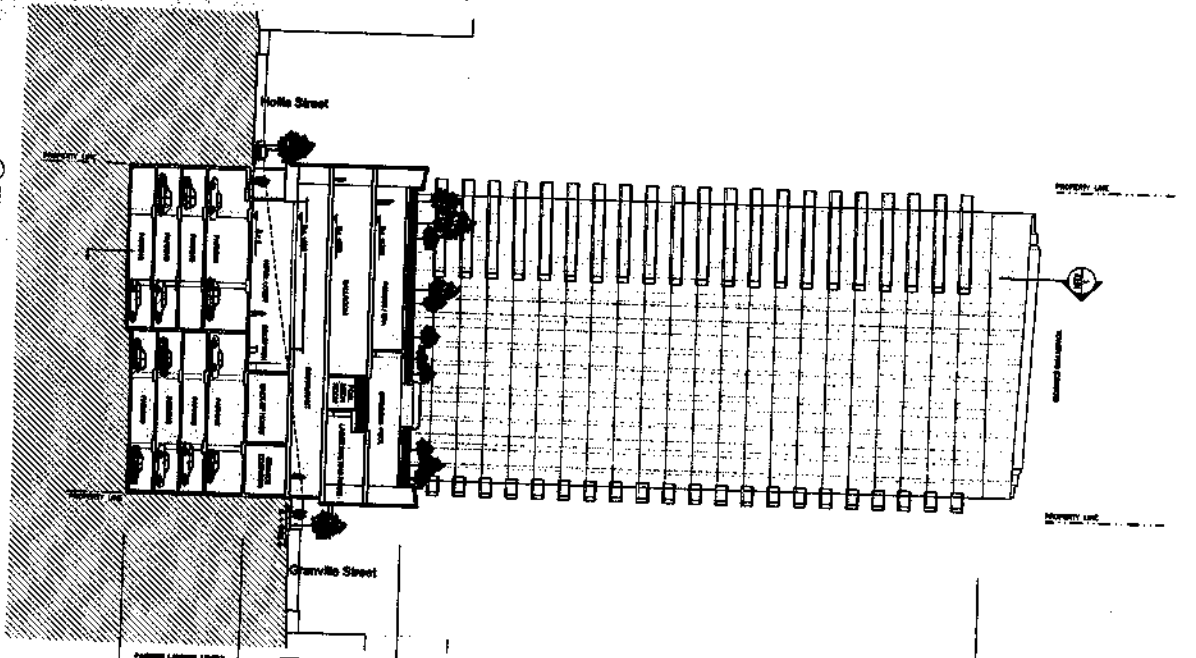
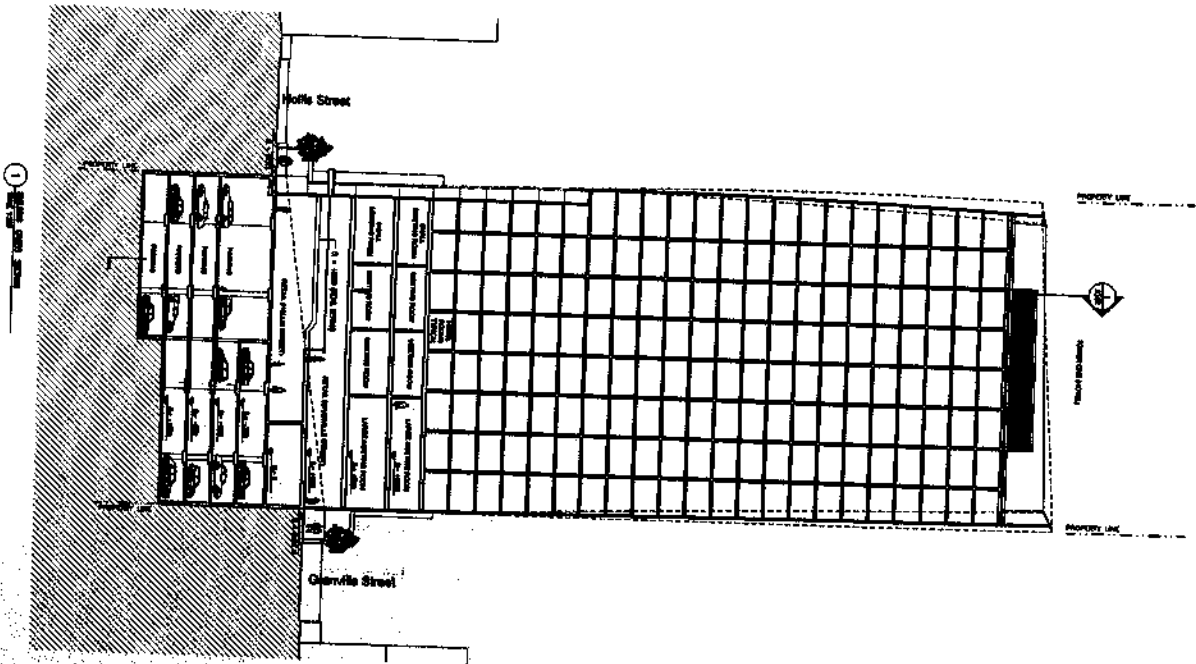
Richard Wolf Development Ltd.
 1000 West Beaver Creek Rd.
 Richmond Hill, Ontario L4B 1N2

HPA
 1000 West Beaver Creek Rd.
 Richmond Hill, Ontario L4B 1N2

Development Land Use Permit
 1000 West Beaver Creek Rd.
 Richmond Hill, Ontario L4B 1N2

Legislated Building Division

A301



Room No.	Room Name	Area (sq. ft.)	Notes
101	Office	120	
102	Office	120	
103	Office	120	
104	Office	120	
105	Office	120	
106	Office	120	
107	Office	120	
108	Office	120	
109	Office	120	
110	Office	120	
111	Office	120	
112	Office	120	
113	Office	120	
114	Office	120	
115	Office	120	
116	Office	120	
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197	Office	120	
198	Office	120	
199	Office	120	
200	Office	120	

NOTES:
 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 2. FINISHES TO BE DETERMINED BY ARCHITECT.
 3. SEE SCHEDULES FOR MATERIALS AND FINISHES.
 4. SEE NOTES TO DRAWINGS FOR SPECIFICATIONS.
 5. SEE NOTES TO DRAWINGS FOR DIMENSIONS.
 6. SEE NOTES TO DRAWINGS FOR FINISHES.
 7. SEE NOTES TO DRAWINGS FOR MATERIALS.
 8. SEE NOTES TO DRAWINGS FOR SPECIFICATIONS.
 9. SEE NOTES TO DRAWINGS FOR DIMENSIONS.
 10. SEE NOTES TO DRAWINGS FOR FINISHES.
 11. SEE NOTES TO DRAWINGS FOR MATERIALS.
 12. SEE NOTES TO DRAWINGS FOR SPECIFICATIONS.
 13. SEE NOTES TO DRAWINGS FOR DIMENSIONS.
 14. SEE NOTES TO DRAWINGS FOR FINISHES.
 15. SEE NOTES TO DRAWINGS FOR MATERIALS.

DATE OF REVISION: _____
 NO. _____

Schedule "Q" - Plan #00709-016

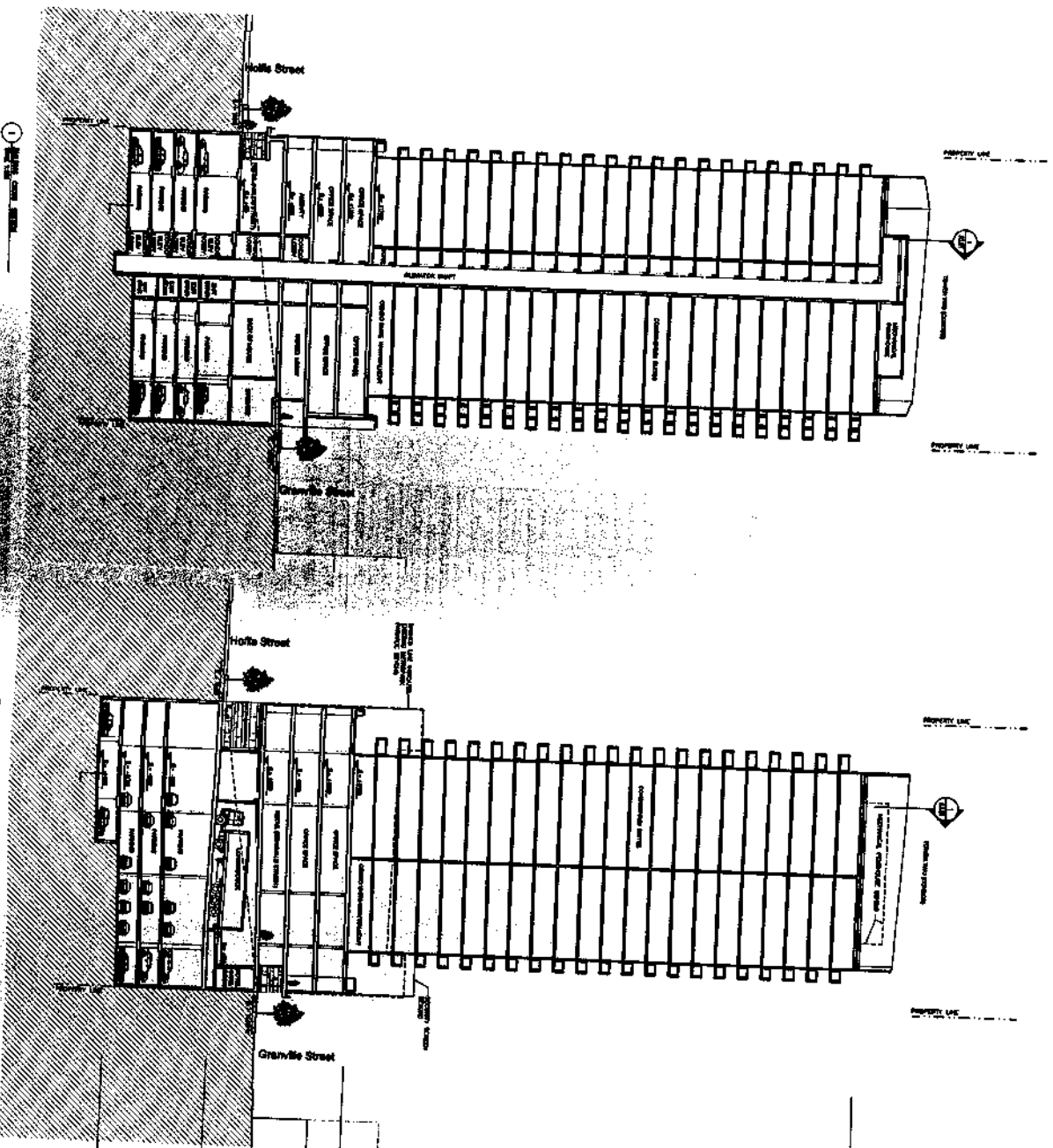
United Gulf Development Ltd.
 1000 West 10th Street
 Calgary, Alberta

HPA
 Hensley Partners Architects
 1000 West 10th Street
 Calgary, Alberta

Division of Building Development
 1000 West 10th Street
 Calgary, Alberta

Atty Gen System

A302



Room No.	Room Name	Area (sq. ft.)	Notes
101	RECEPTION	1,200	
102	OFFICE	1,500	
103	CONFERENCE	2,000	
104	OFFICE	1,500	
105	OFFICE	1,500	
106	OFFICE	1,500	
107	OFFICE	1,500	
108	OFFICE	1,500	
109	OFFICE	1,500	
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192	OFFICE	1,500	
193	OFFICE	1,500	
194	OFFICE	1,500	
195	OFFICE	1,500	
196	OFFICE	1,500	
197	OFFICE	1,500	
198	OFFICE	1,500	
199	OFFICE	1,500	
200	OFFICE	1,500	

Schedule "R" - Plan #00709-017

Standard Care Development, Ltd.
 1000 West 10th Street
 Vancouver, B.C. V6H 2G6
 Telephone: 604-681-1111
 Fax: 604-681-1112

HPA
 600 West 10th Street
 Vancouver, B.C. V6H 2G6
 Telephone: 604-681-1111
 Fax: 604-681-1112

Standard Care Development
 201 Granite Street
 Halifax, Nova Scotia
 B3H 2R2

Building Cross Section

A303

1. The information contained herein is for the use of the client only and is not to be distributed to the public.

2. The information contained herein is the property of Standard Care Development, Ltd. and is to be kept confidential.

3. The information contained herein is to be used only for the purpose for which it was prepared.

4. The information contained herein is to be used only in connection with the project for which it was prepared.

5. The information contained herein is to be used only in connection with the project for which it was prepared.

6. The information contained herein is to be used only in connection with the project for which it was prepared.

7. The information contained herein is to be used only in connection with the project for which it was prepared.

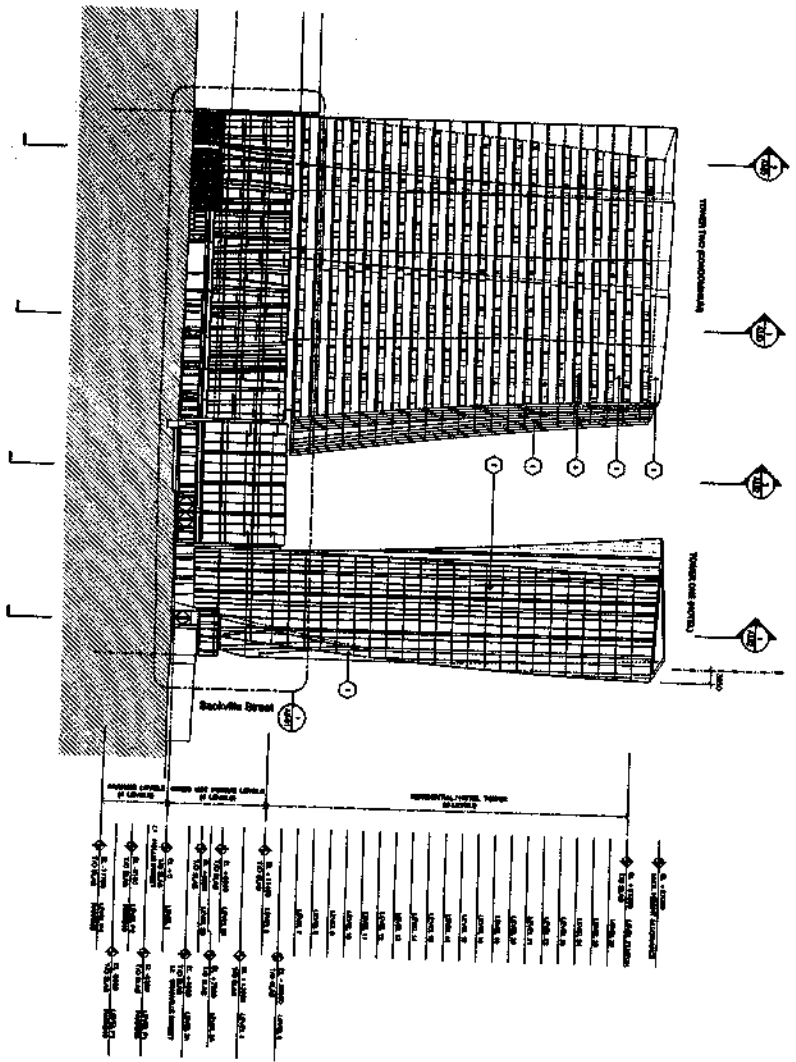
8. The information contained herein is to be used only in connection with the project for which it was prepared.

9. The information contained herein is to be used only in connection with the project for which it was prepared.

10. The information contained herein is to be used only in connection with the project for which it was prepared.

1. The information on this drawing is the property of the Architect. It is to be used only for the project and site identified herein. It is not to be used for any other project or site without the written consent of the Architect.

- LEGEND
- CHAIRMAN WALL - CLASH VISION PANEL
 - SPANDREL GLASS
 - BRIDGE FINISHED INSION GLASS
 - TAPERED GLASS QUARD
 - STONE FINISH
 - STONE FINISH
 - STONE FINISH
 - COPPER CLADDING
 - METAL LANCE FINANCY SCREEN
 - METAL SHIMMER BAND



Schedule "S" - Plan #00709-018

United Gulf Developments Ltd.
 1000 Highway 70, Suite 100
 Mississauga, Ontario L4W 1A7
 Tel: (905) 276-1111

HPA
 1000 Highway 70, Suite 100
 Mississauga, Ontario L4W 1A7
 Tel: (905) 276-1111

Developer: United Gulf Developments Ltd.
 591 Grande Street
 Mississauga, Ontario L4W 1A7

Date: 01/11/01
 Scale: 1/8" = 1'-0"
 Drawing No: A4.01

NOTES:
 1. ALL DIMENSIONS ARE IN FEET AND INCHES.
 2. REFER TO ARCHITECTURAL SPECIFICATIONS FOR MATERIALS AND FINISHES.
 3. REFER TO STRUCTURAL DRAWINGS FOR CONCRETE AND STEEL DETAILS.
 4. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR SYSTEMS AND EQUIPMENT.
 5. REFER TO LANDSCAPE ARCHITECTURE DRAWINGS FOR EXTERIOR FINISHES AND PLANTING.
 6. REFER TO INTERIOR ARCHITECTURE DRAWINGS FOR FLOOR FINISHES AND PARTITIONING.
 7. REFER TO ELEVATION DRAWINGS FOR EXTERIOR MATERIALS AND COLORS.
 8. REFER TO SECTION DRAWINGS FOR VERTICAL ALIGNMENT AND FINISHES.
 9. REFER TO SCHEDULES FOR MATERIALS AND FINISHES.
 10. REFER TO GENERAL NOTES FOR CONSTRUCTION REQUIREMENTS.

LEGEND

- CURTAIN WALL - CLEAR VISION PANEL
- CURTAIN WALL - BRONZE TINTED GLASS
- TAPERED GLASS CLADDING
- STONE CLADDING
- STONE MESH
- STONE FIN
- COPPER CHAIKY
- METAL LANTZ FINISH SCREEN
- RETAIL SIGNAGE BAND

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITTING	10/1/09
2	ISSUED FOR CONSTRUCTION	10/1/09

Schedule "T" - Plan #00709-019

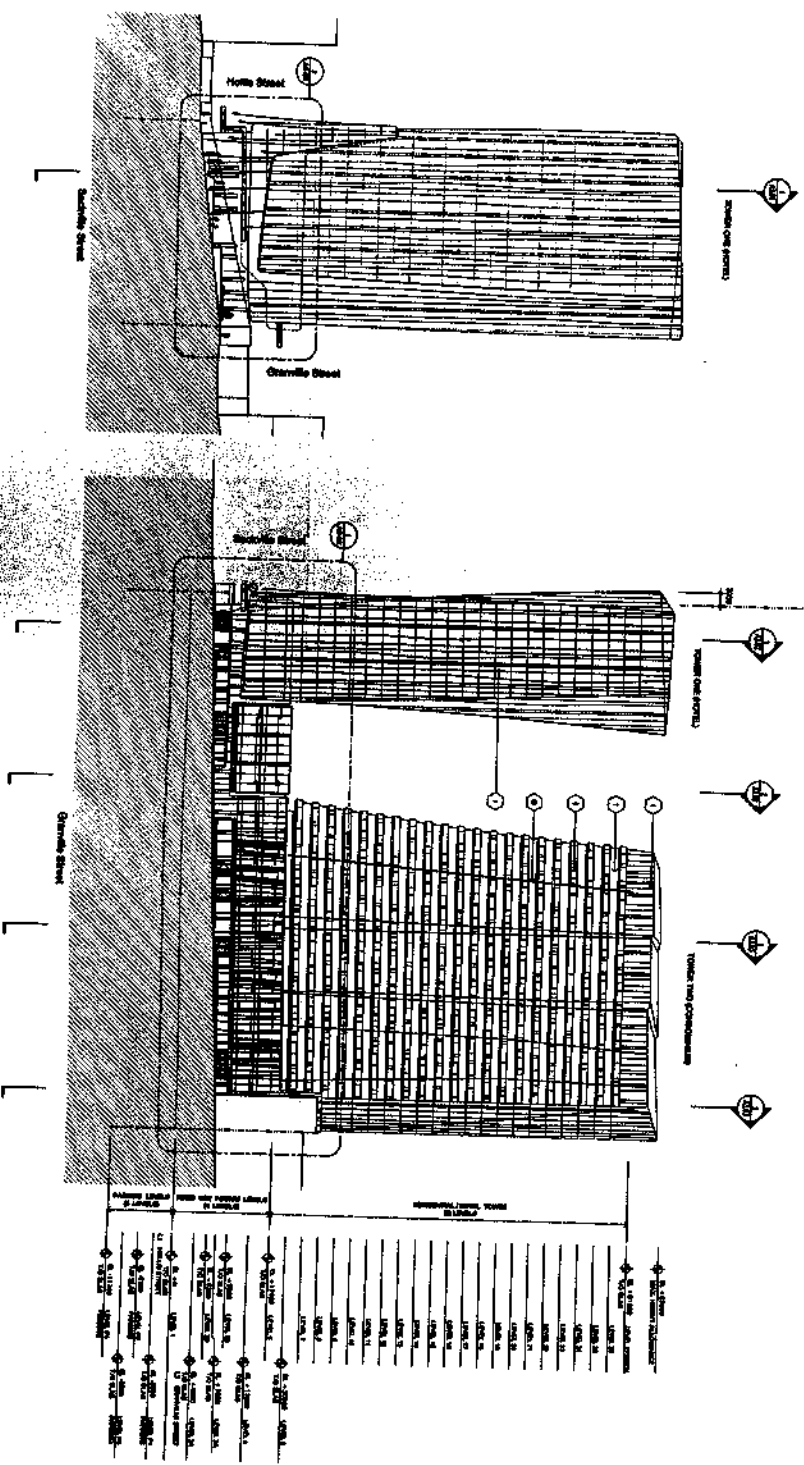
Harold Reed Developments Ltd.
 1000 West Beaver Creek Road
 Richmond Hill, Ontario L4B 1N2
 (905) 709-1111
 www.haroldreed.com

HPA

Donovan Reed (US) Development
 1000 West Beaver Creek
 Richmond Hill, Ontario L4B 1N2
 (905) 709-1111
 www.donovanreed.com

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITTING	10/1/09
2	ISSUED FOR CONSTRUCTION	10/1/09

A4.02



1 - SECTION THROUGH RETAIL SIGNAGE BAND

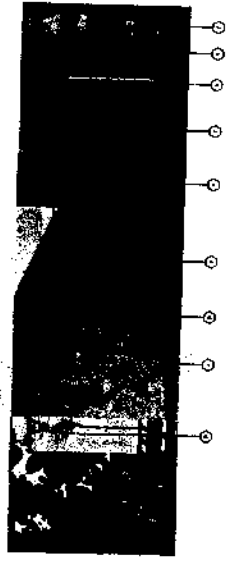
2 - SECTION THROUGH RETAIL SIGNAGE BAND



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2. The Architect is not responsible for the accuracy of the information provided by others, including the client, and for the consequences of any errors or omissions in the information provided.

3. The Architect is not responsible for the construction of the project or for the safety of the project during construction.



- LEGEND**
- CURTAIN WALL - GLASS/SPANION PANEL
 - SPANION GLASS
 - BRONZE FRAMED INSION GLASS
 - TINTED GLASS GUARD
 - STONE COORDING
 - STONE FINIS
 - STONE SILL
 - COPPER CASING
 - METAL LAMINATE FRAMING SCREEN
 - METAL SPANNING BAND
 - OPERABLE WINDOW
 - PAINTED METAL PANEL
 - COPPER SILL
 - COPPER CLADDING
 - COPPER HANDSET

DATE OF REVISION: 08/11/01
 SHEET NO. 11
 OF 11

Schedule "U" - Plan #00709-020

United Gulf Developments Ltd.
 1000 West 10th St.
 Suite 100
 Calgary, Alberta T2C 1A1

HPA
 HPA ARCHITECTS
 1000 West 10th St.
 Suite 100
 Calgary, Alberta T2C 1A1

Developing Land Use Development
 501 Grande Prairie
 Medical Arts Centre
 Calgary, Alberta T2C 1A1

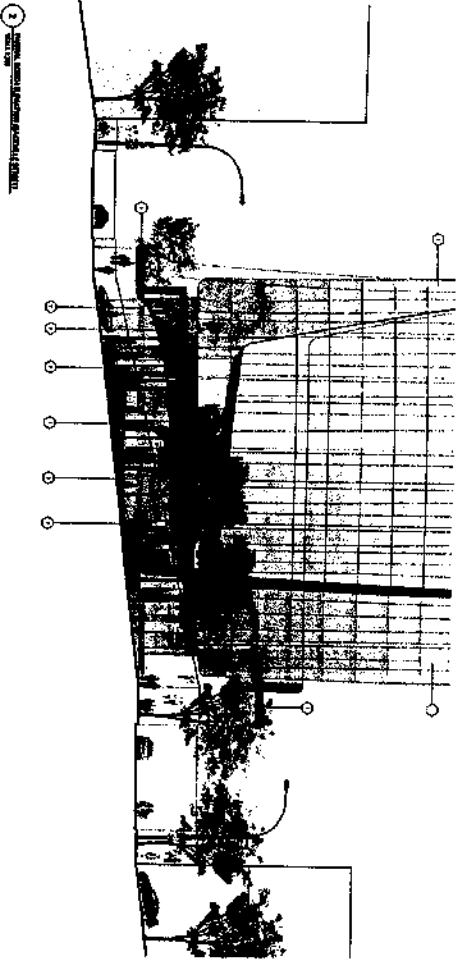
1/2" = 1'-0"
Final Review Sheet

DATE: 08/11/01
 DRAWN BY: [Name]
 CHECKED BY: [Name]

A5.01



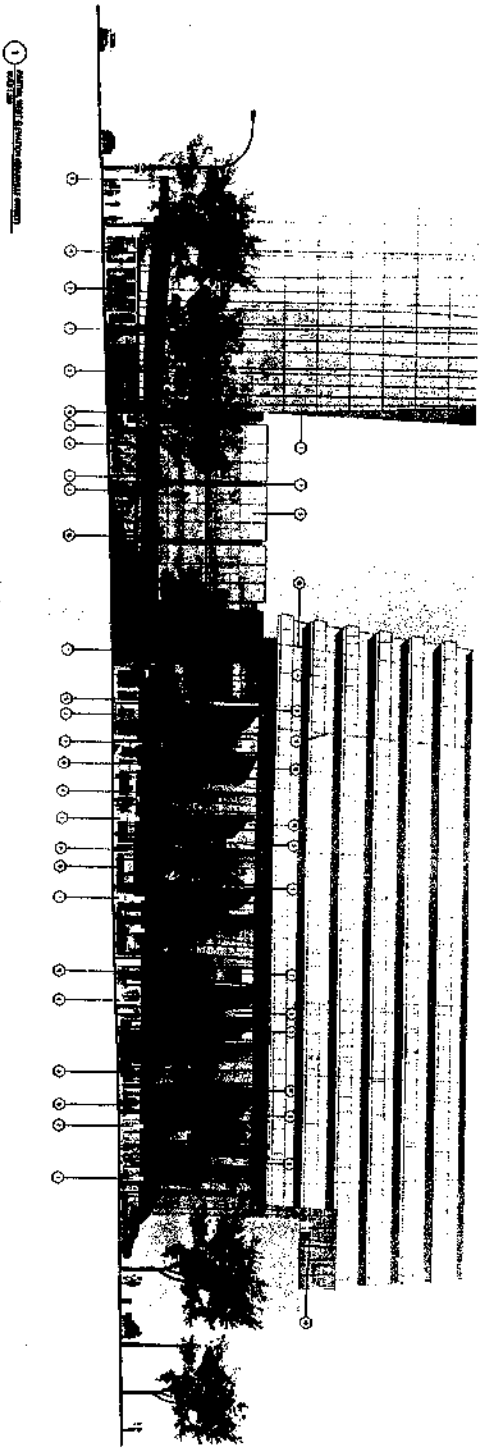
1/2" = 1'-0"



1. This drawing is a preliminary drawing and is subject to change without notice. It is not to be used for construction or for any other purpose without the written consent of the architect.

- CLIMATE WALL - CLEAR GLASS PANEL
- BRONZE FINISH GLASS
- BRONZE FINISH GLASS GUARD
- TINTED GLASS GUARD
- STONE CLADDING
- STONE MESH
- STONE MESH
- STONE MESH
- COPPER CANOPY
- METAL LANCE FINISH SCREEN
- METAL FINISH BOARD
- WOOD
- WOOD
- PAINTED METAL PANEL
- CORNER SILL
- CORNER CLADDING
- CORNER FINISH

SECTION 401 - EAST SIDE ELEVATION
DATE: 1/1/2010
SCALE: 1/4" = 1'-0"



SECTION 402 - WEST SIDE ELEVATION
DATE: 1/1/2010
SCALE: 1/4" = 1'-0"

Schedule 402 - Plan #00709-021

United Gulf Developments Ltd.
10000 Highway 70, Suite 100
Mississauga, Ontario L4V 1N2

HPA

Professional Architectural Firm
10000 Highway 70, Suite 100
Mississauga, Ontario L4V 1N2

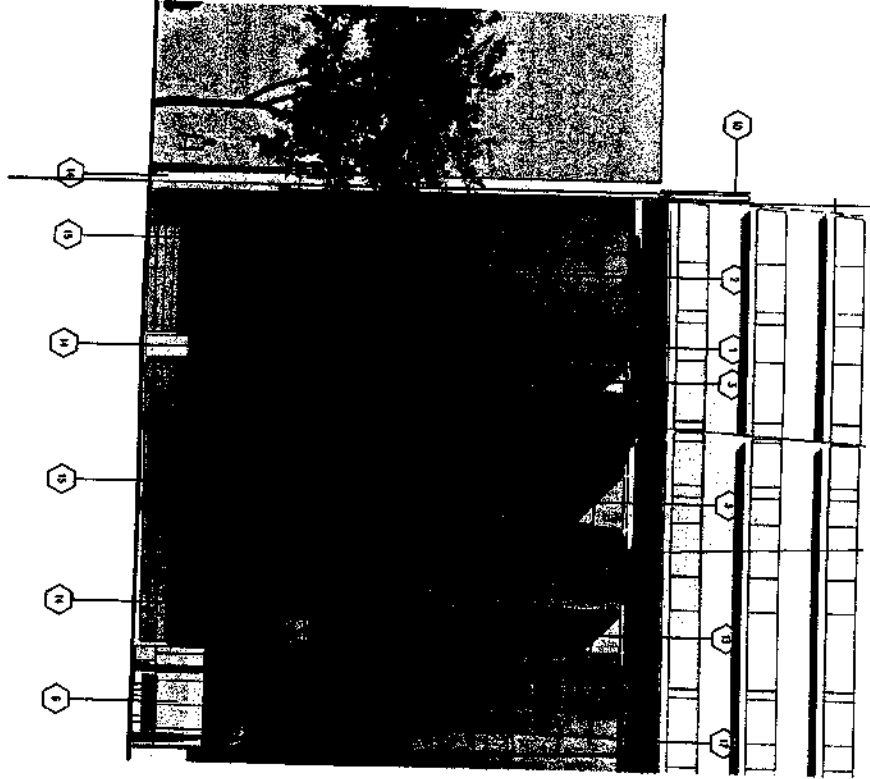
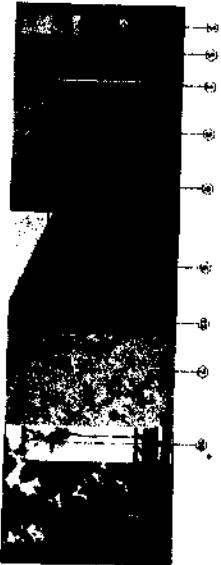
Division Lead: The Developer
100 Grande Street
Mississauga, Ontario L4V 1N2

Partial Public Exposure

DATE	1/1/2010
SCALE	1/4" = 1'-0"
DRAWN BY	HPA
CHECKED BY	HPA

AS02





1. The building is a three-story structure with a total height of approximately 30 feet. The facade is primarily composed of stone and brickwork. The ground floor features a large, dark, recessed entrance area. The upper floors have a grid of windows with varying heights and widths. The building is situated on a slight incline, and the surrounding area includes trees and a paved walkway.

LEGEND

- CERAMIC WALL - CLEAR VISION PANEL
- BRICK
- BRICK FRAMED W/ IRON GLASS
- REVERSED GLASS GLIARD
- STONE CLADDING
- STONE PIER
- STONE RIS
- STONE SILL
- CORNER CHAMFER
- METAL LATTICE FINISH/ SCREEN
- METAL SERVICE BAND
- WOOD
- WOOD PANEL WINDOW
- WOOD PANEL METAL PANEL
- CORNER SILL
- CORNER CLADDING
- CORNER FINISHER

Schedule "W" - Plan #00709-022

United Owl Developments Ltd.

2500 Highway 7, Suite 100
 Scarborough, Ontario M1V 4Y7
 Tel: (416) 291-1111

HPA

2500 Highway 7, Suite 100
 Scarborough, Ontario M1V 4Y7
 Tel: (416) 291-1111

Drawings Made for Development
 507 Queen Street
 Markham, Ont. L3R 9V4

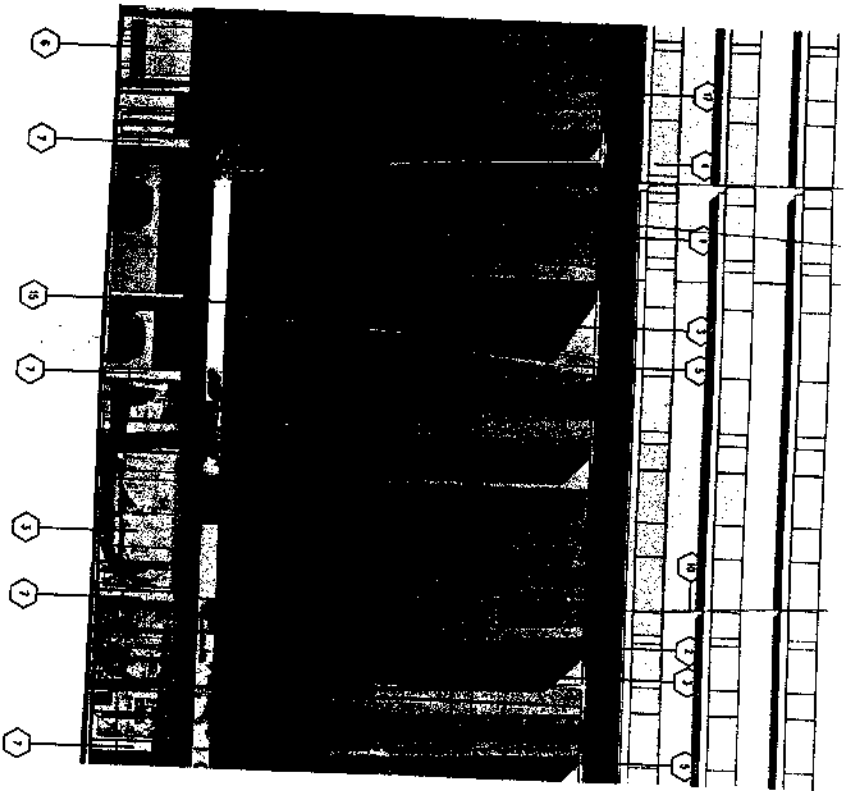
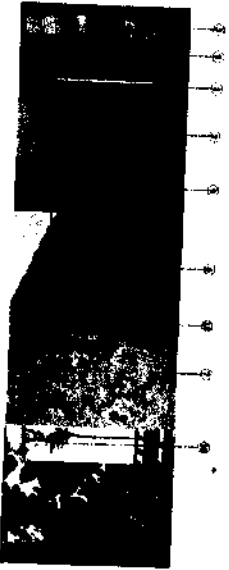
Paul Nolan Builder

1/2" = 1'-0"

A6.01

1/2" = 1'-0"





- LEGEND
- CURTAIN WALL - CLEAR WINDOW PANEL
 - SHIMMER GLASS
 - BROWN TINTED WINDOW GLASS
 - TAPERED GLASS QUAYS
 - STONE CLADDING
 - STONE PIER
 - STONE FIN
 - WOOD
 - COPPER PANEL
 - METAL LANCE PRIVACY SCREEN
 - METAL SPALDE BAND
 - WOOD
 - OPENABLE WINDOW
 - SHIMMER METAL PANEL
 - COPPER CLADDING
 - COPPER PANEL

Schedule "XY" - Plan #00709-023

United Golf Developments Ltd.
 1000 West Beaver Creek Road
 Richmond Hill, Ontario L4B 1N2

HPA

1000 West Beaver Creek Road
 Richmond Hill, Ontario L4B 1N2

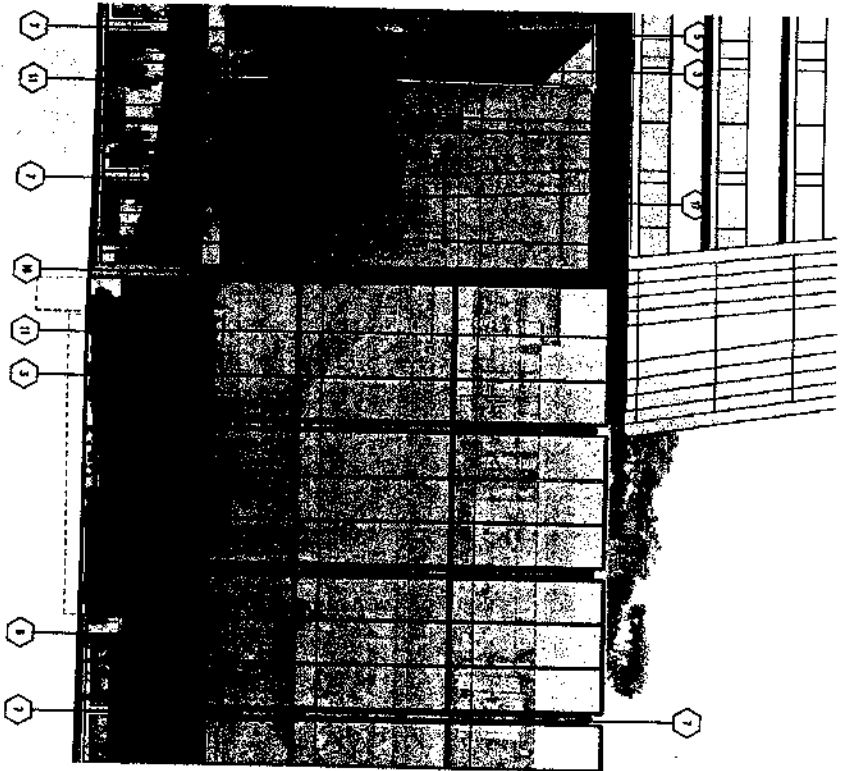
Developed Under the Direction of
 591 Grande Street
 Markham, Ontario L3R 0K8

Paul F. H. Smith

1000 West Beaver Creek Road
 Richmond Hill, Ontario L4B 1N2

A6.02

1000 West Beaver Creek Road
 Richmond Hill, Ontario L4B 1N2



1 - NORTH EAST DEVELOPMENT

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- LEGEND**
- CURTAIN WALL - CLEAR VISION PANEL
 - SPANDREL GLASS
 - BRONZE FINISH VISION GLASS
 - TEMPERED GLASS GLAZED
 - STONE CLADDING
 - STONE FINISH
 - STONE SILL
 - COPPER CLADDING
 - METAL UNITE FINANCY SCREEN
 - METAL UNITE FINANCY BAND
 - METAL UNITE FINANCY BAND
 - OPENABLE WINDOW
 - PAINTED METAL PANEL
 - COPPER SILL
 - COPPER CLADDING
 - COPPER FINISH

Schedule "Y" - Plan #00709-024

United East Developments LLC
 1000 East 10th Street
 Minneapolis, MN 55414

HPA
 1000 East 10th Street
 Minneapolis, MN 55414

Development Land Use Development
 300 Grand Street
 Minneapolis, MN 55401

Paul Polak Design

A6.03

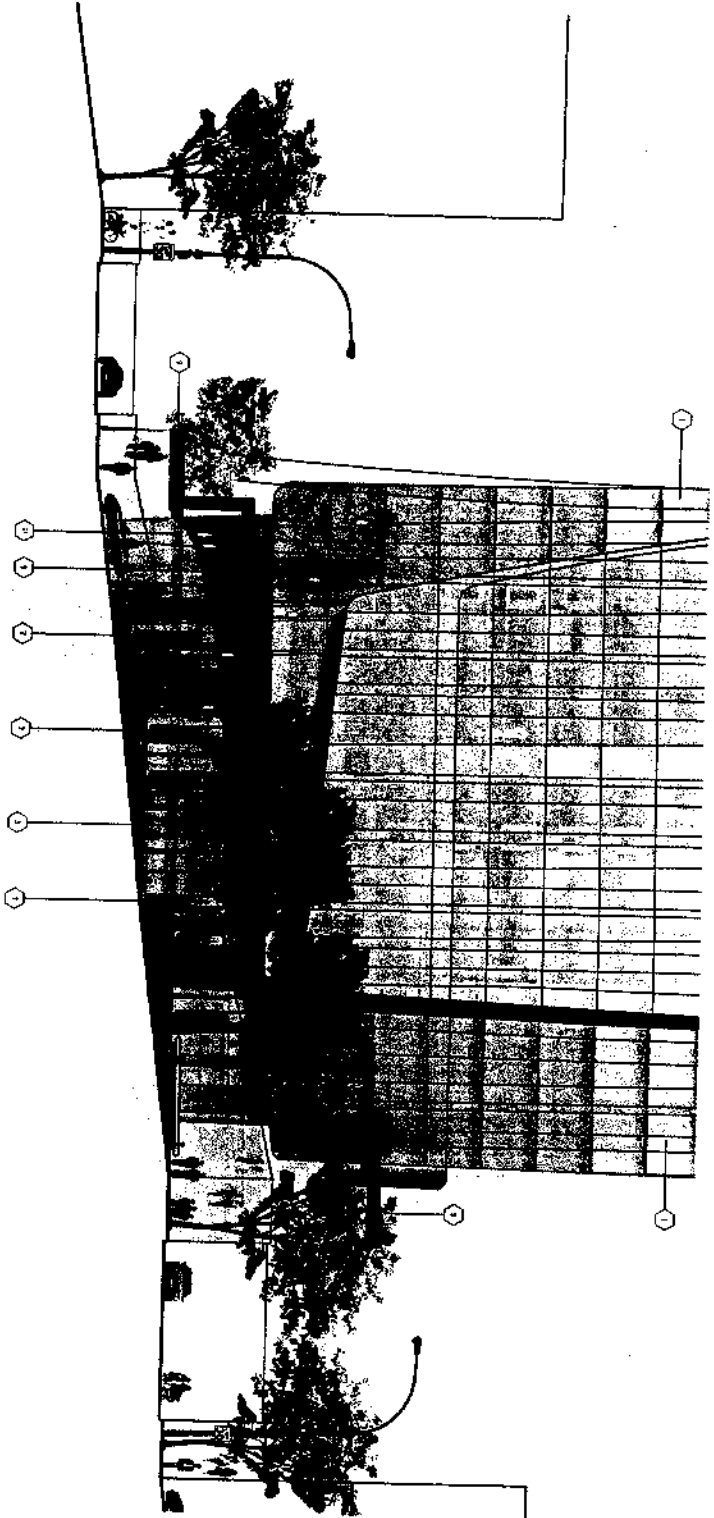
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3. The Architect is not responsible for the construction of the project or for the safety of the project.

4. The Architect is not responsible for the performance of the project or for the quality of the work.

5. The Architect is not responsible for the completion of the project or for the time of completion.



2 PARTIAL NORTH BEHAVIOR ISACONVILLE STREET

LEGEND

- CLAY TILE WALL - CANTONMENT PANEL
- BRONZE GLASS
- BRONZE FRAMED WISCON GLASS
- TINTED GLASS GLAND
- SLIDE CLADDING
- STONE PIER
- STONE PIER
- STONE PIER
- COPPER CLADDING
- METAL LANCE FINANCY SCREEN
- RETIAL SWAGGE BAND
- WOOD
- METAL LANCE FINANCY SCREEN
- PANTHEMETIC PANEL
- COPPER SILL
- COPPER CLADDING
- COPPER PAVEMENT

Schedule "B-1", Plan #00709-027

Architectural Development LLC

1000 North 1st Street, Suite 200
Tomball, TX 77375

HPA

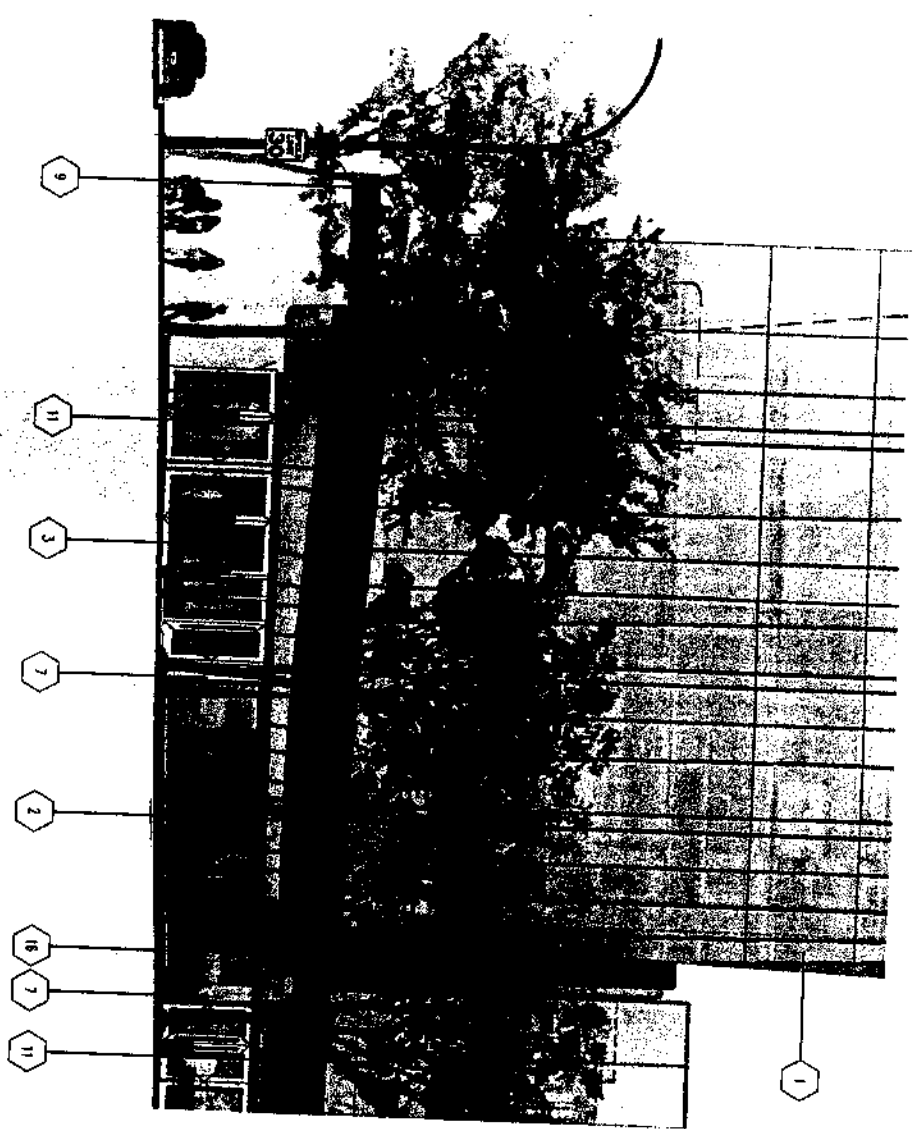
1000 North 1st Street, Suite 200
Tomball, TX 77375

Overland Island (In Development)
501 Grande Street
Hobby, Texas 77058

Partial North Behavior

A7.01

1. The information on this drawing is based on the information provided by the client and is not to be used for any other purpose without the written consent of the architect.



- LEGEND**
- BRUSHED ALUMINUM CLEAN WASH FINISH
 - BRUSHED ALUMINUM
 - BRONZE FINISHED ALUMINUM GLASS
 - TINTED GLASS GLAZING
 - STONE CLADDING
 - STONE CLADDING
 - STONE CLADDING
 - STONE CLADDING
 - CORNER CHAMFER
 - METAL LANCE FINISH SCREEN
 - METAL FINISH BAND
 - BRUSHED ALUMINUM
 - BRUSHED ALUMINUM
 - PAINTED METAL PANEL
 - CORNER SILL
 - CORNER CLADDING
 - CORNER FINISH

Schedule "C-1" - Plan #00709-028

United Gulf Development, LLC
 10000 West Loop West, Suite 200
 Houston, Texas 77042

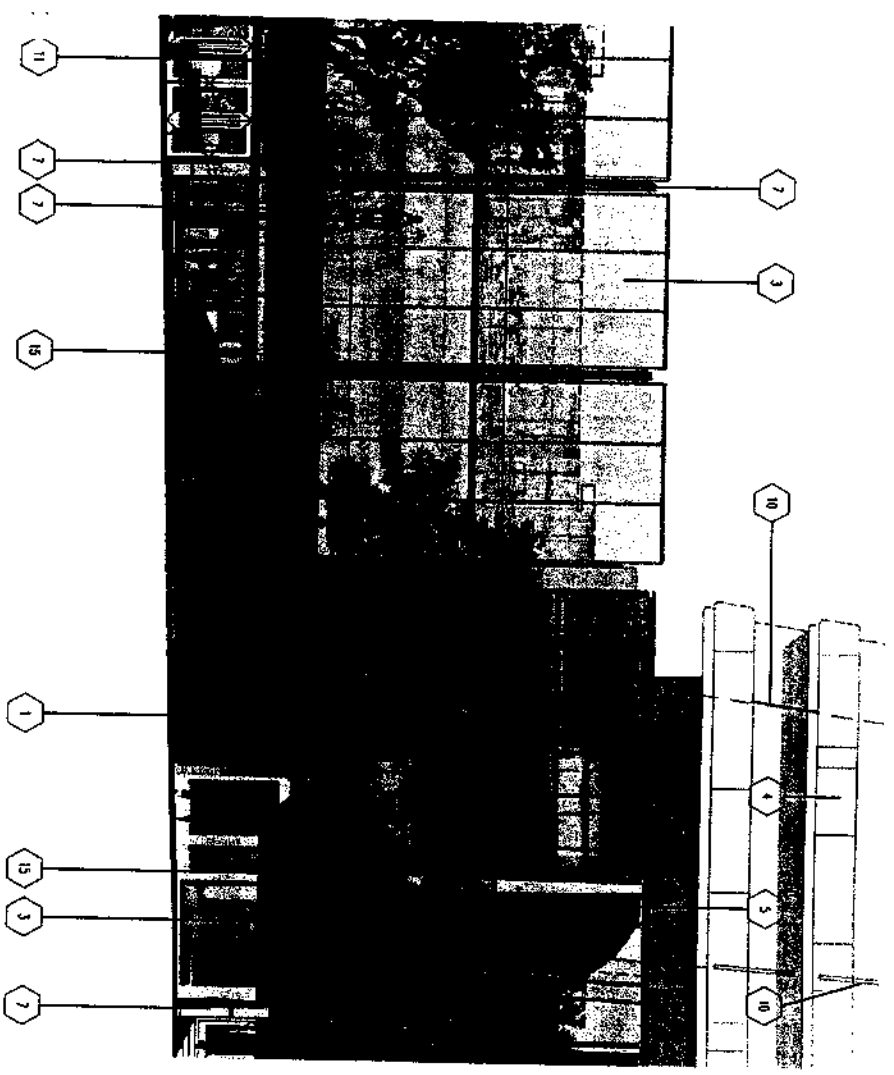
HPA
 Houston Professional Architects
 10000 West Loop West, Suite 200
 Houston, Texas 77042

Downtown Mixed Use Development
 201 Grand Street
 Dallas, Texas 75201

Panel Order Bookings

Scale: 1/8" = 1'-0"
 A8.01

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- LEGEND**
- CURTAIN WALL - CLEAR INSON PANEL
 - SPANDREL GLASS
 - BRONZE FINISHED INSON GLASS
 - TEMPERED GLASS QUARD
 - STONE CLADDING
 - STONE FINISH
 - STONE SILL
 - COPPER CANOPY
 - METAL LANTICE PRIVACY SCREEN
 - METAL SPANDREL BAND
 - OFF WHITE LINING
 - PAINTED METAL PANEL
 - COPPER SILL
 - COPPER CLADDING
 - COPPER PANEL

Schedule 'D-1' - Plan #00709-029

United Quest Developments Ltd.
 1000 West Beaver Creek Rd. S.E.
 Richmond, B.C. V6X 3V7

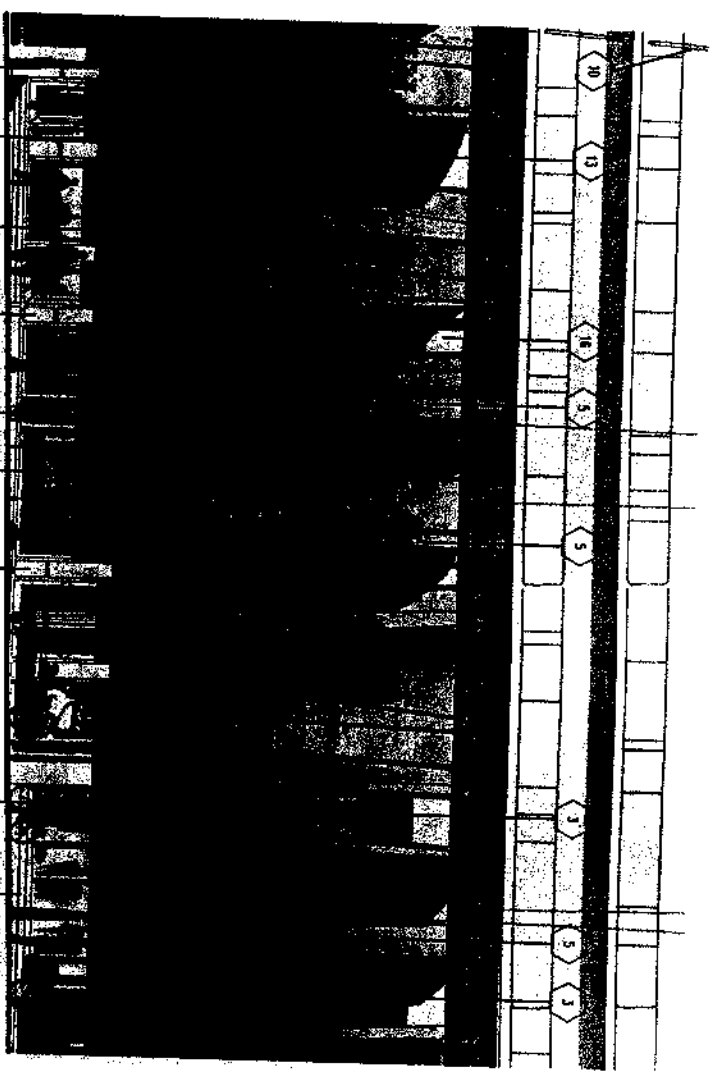
HPA
 1000 West Beaver Creek Rd. S.E.
 Richmond, B.C. V6X 3V7

Development Limited (the Development)
 1000 West Beaver Creek Rd. S.E.
 Richmond, B.C. V6X 3V7

Field Photos Drawings

A8.02

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- LEGEND**
- CEMENT WALL - CLEAN VERTICAL SWELL
 - SPANTEL GLASS - CLEAN VERTICAL SWELL
 - TYPED FINISHED MASON GLASS
 - STONE CLADDING
 - STONE FIN
 - STONE FIN
 - STONE FIN
 - STONE FIN
 - METAL CLADDING / SCREEN
 - METAL SPANDREL BAND
 - WOOD
 - GREENGLASS WINDOW
 - PAINTED METAL PANEL
 - METAL CLADDING
 - COPPER / PAINT

DATE: 10/10/2011
 TIME: 10:10:11 AM

Schedule "E-1" Plan #00709-030

United Civil Development, Ltd.
 PROJECT: [illegible]
 ADDRESS: [illegible]

HPA
 PROJECT: [illegible]
 ADDRESS: [illegible]

Division Head for Development
 Mr. Charles Stewart
 1000, King Street
 Toronto, Ontario

Field Order Division

NO.	DATE	REVISION
1	10/10/2011	ISSUE FOR PERMIT

A8.03

The Architect warrants that the design and construction of the building shall conform to the applicable building codes and regulations. The Architect shall be responsible for obtaining all necessary permits and approvals. The Architect shall also be responsible for coordinating with the relevant authorities and agencies.



3
 15
 7
 7

- LEGEND
- CURTAIN WALL - CLEAR/IRISCH PANEL
 - SPANDREL GLASS
 - BRONZE FINISHED WINDOW GLASS
 - TINTED GLASS GLAZING
 - STONE CLADDING
 - STONE FINISH
 - STONE SILL
 - CORNER CANOPY
 - METAL LANCE FINANCY SCREEN
 - METAL FINISH
 - METAL SPANDREL BAND
 - METAL
 - DRIBBLE WINDOW
 - PAINTED METAL PANEL
 - COPPER SILL
 - COPPER CLADDING
 - COPPER FINISH

Schedule "F-1" Plan #00709-031

United Steel Developments Ltd.
 1000 West Beaver Creek Rd.
 Richmond Hill, Ontario L4B 1N2

HPA
 1000 West Beaver Creek Rd.
 Richmond Hill, Ontario L4B 1N2


Development Using This Document
 201 Grande Street
 Markham, Ontario L3R 0Y4

Project Name: **Granada**

A8.04

PROVINCE OF NOVA SCOTIA
COUNTY OF HALIFAX, NOVA SCOTIA

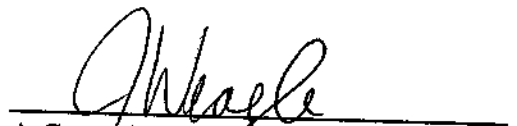
ON THIS 20 day of Nov., A.D., 2007, before me, the subscriber personally came and appeared MICHAEL QUADRY a subscribing witness to the within and foregoing Indenture, who, having been by me duly sworn, made oath and said that **United Gulf Developments Limited**, one of the parties thereto, signed, sealed and delivered the same in his presence.


A Commissioner of the Supreme Court
of Nova Scotia

WILLIAM P. THOMSON
A Barrister of the Supreme
Court of Nova Scotia

PROVINCE OF NOVA SCOTIA
COUNTY OF HALIFAX, NOVA SCOTIA

ON THIS 28th day of November, A.D., 2007, before me, the subscriber personally came and appeared before me Kelly MacNamara + Christina Sears the subscribing witness to the within and the foregoing Indenture, who, having been by me duly sworn, made oath and said that the Halifax Regional Municipality, one of the parties thereto, caused the same to be executed and its Corporate Seal to be thereunto affixed by the hands of Peter Kelly, its Mayor, and Jan Gibson, ^{AW} its Municipal Clerk, its duly authorized officers in his presence. Julia Torncastle


A Commissioner of the Supreme Court
of Nova Scotia

JENNIFER WEAGLE
A Commissioner of the
Supreme Court of Nova Scotia